

ZONING DESCRIPTION
5.6± ACRES

Situated in the State of Ohio, County of Franklin, Township of Perry, being in Quarter Township 4, Township 2, Range 19 in the United States Military District, and being all of Lot 13 of the Brookside Estates Plat No. 2 as conveyed to B.B.C. Cottages LLC in Instrument Numbers: 201807030088260, 201807030088261, 201807030088262 and part of the remainder of a 62.343 acre tract as conveyed to The Brookside Golf & County Club Company in Deed Volume 1205, Page 659 as further described;

Beginning at the northeast corner of Lot 14 of the Brookside Estates Plat No. 2 as recorded in Plat Book 24, Page 45 and conveyed to Robert W. Nemeth in Instrument Number 200706290113860, being the southeast corner of said Lot 13 of said Brookside Estates Plat No. 2, being in the west line of the remainder of said 62.343 acre tract and being the **TRUE POINT OF BEGINNING** for the land herein described as follows;

Thence the north line of said Lot 14 and the south line of said Lot 13, **N 87° 36' 49" W, 143.0± feet** to the northwest corner of said Lot 14, the southwest corner of said Lot 13 and the northeast corner of Lot 34 of said Brookside Estates Plat No. 2 as conveyed to Sam C. Swartz in Instrument Number 201412010159064;

Thence with the east line of said Lot 34 and the west line of said Lot 13, **N 49° 38' 49" W, 114.9± feet** to an angle point in the north line of said Lot 34, the southeast corner of Lot 33 in said Brookside Estates Plat No. 2 as conveyed to Philip W. Evanoff in Instrument Number 200203140066706 and being an angle point in the west line of said Lot 13;

Thence with the east line of Lot 33 and the west line of said Lot 13, **N 23° 52' 19" W, 107.4± feet** to the northeast corner of said Lot 33, being an angle point in the west line of said Lot 13 and being in the southerly right of way line of Greenvale Drive as dedicated in said Brookside Estates Plat No. 2;

Thence with the easterly right of way line of said Greenvale Drive and the west line of said Lot 13 along a curve to the left having a central angle of **180° 07' 03"**, a radius of **50.00 feet**, an arc length of **157.2± feet**, and a chord bearing and distance of **N 08° 01' 04" E, 100.0± feet** to the southeast corner of Lot 12 in said Brookside Estates Plat No. 2 as conveyed to Robert O. Click and Amy W. Click in Instrument Number 201110030124684 and being an angle point in the west line of said Lot 13;

Thence with the east line of said Lot 12 and the west line of said Lot 13, **N 08° 04' 11" E, 45.9± feet** to the northwest corner of said Lot 13, the northeast corner of said Lot 12, being the southeast corner of a 0.161 acre tract as conveyed to Robert O. Click and Amy W. Click in Instrument Number 201807060090016 and being in the south line of the remainder of said 62.343 acre tract;

Thence with the north line of said Lot 13 and the south line of the remainder of said 62.343 acre tract, **S 70° 43' 59" E, 50.2± feet**;

Thence the following twenty-six (26) courses across the remainder of said 62.343 acre tract:

1. **N 33° 25' 15" W, 56.8± feet**;
2. **N 55° 17' 48" E, 84.1± feet**;
3. **S 34° 42' 12" E, 10.3± feet**;
4. Along a curve to the left through **44° 14' 43"**, having a radius of **94.84 feet**, an arc length of **73.2± feet**, and a chord bearing and distance **S 56° 48' 09" E, 71.4± feet**;

5. Along a curve to the left through an angle of **72° 52' 45"**, having a radius of **121.59 feet** an arc length of **154.7± feet**, and a chord bearing and distance **N 64° 38' 06" E, 144.4± feet**;
6. **N 28° 11' 44" E, 78.4± feet**;
7. **S 51° 37' 13" E, 80.1± feet**;
8. **S 37° 50' 44" E, 50.5± feet**;
9. **S 74° 54' 53" E, 129.0± feet**;
10. **S 64° 42' 12" E, 28.7± feet**;
11. **S 44° 14' 23" E, 23.7± feet**;
12. **S 23° 53' 11" E, 39.4± feet**;
13. **S 11° 08' 25" E, 40.8± feet**;
14. **S 10° 16' 12" W, 6.5± feet**;
15. **S 11° 14' 16" W, 130.9± feet**;
16. **S 24° 02' 35" W, 85.1± feet**;
17. **S 13° 42' 47" E, 46.7± feet**;
18. **S 37° 17' 28" E, 24.9± feet**;
19. **S 08° 53' 09" E, 31.5± feet**;
20. **S 64° 23' 24" W, 32.4± feet**;
21. **N 70° 21' 05" W, 42.1± feet**;
22. **S 70° 51' 19" W, 22.9± feet**;
23. **N 53° 39' 45" W, 53.3± feet**;
24. **S 52° 49' 15" W, 18.6± feet**;
25. **S 28° 56' 40" W, 50.9± feet**;
26. **S 33° 18' 39" E, 55.8± feet**;

Thence across the remainder of said 62.343 acre tract, and along a portion of the south line of the remainder of said 62.343 acre tract, the north line of a 0.974 acre tract as conveyed to Mark McCarty and Cindy N. McCarty in Instrument Number 200107240168031, **N 87° 01' 09" W, 181.5± feet** to an angle point in the west line of said 62.343 acre tract, the east line of said Lot 14 and being the northwest corner of said 0.974 acre tract;

Thence with the south line of said 66.343 acre tract and the east line of said Lot 14, **N 01° 58' 51" E, 120.9± feet** to the **TRUE POINT OF BEGINNING**, containing **5.6± acres**, more or less.

The above description was prepared by Advanced Civil Design Inc. and is based on existing County Auditor records, County Recorder records and Franklin County GIS.

All references used in this description can be found at the Recorder's Office Franklin County Ohio.

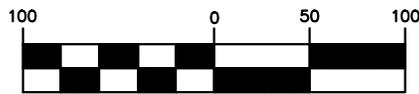
This description is not to be used in the transfer of land.

ADVANCED CIVIL DESIGN INC.

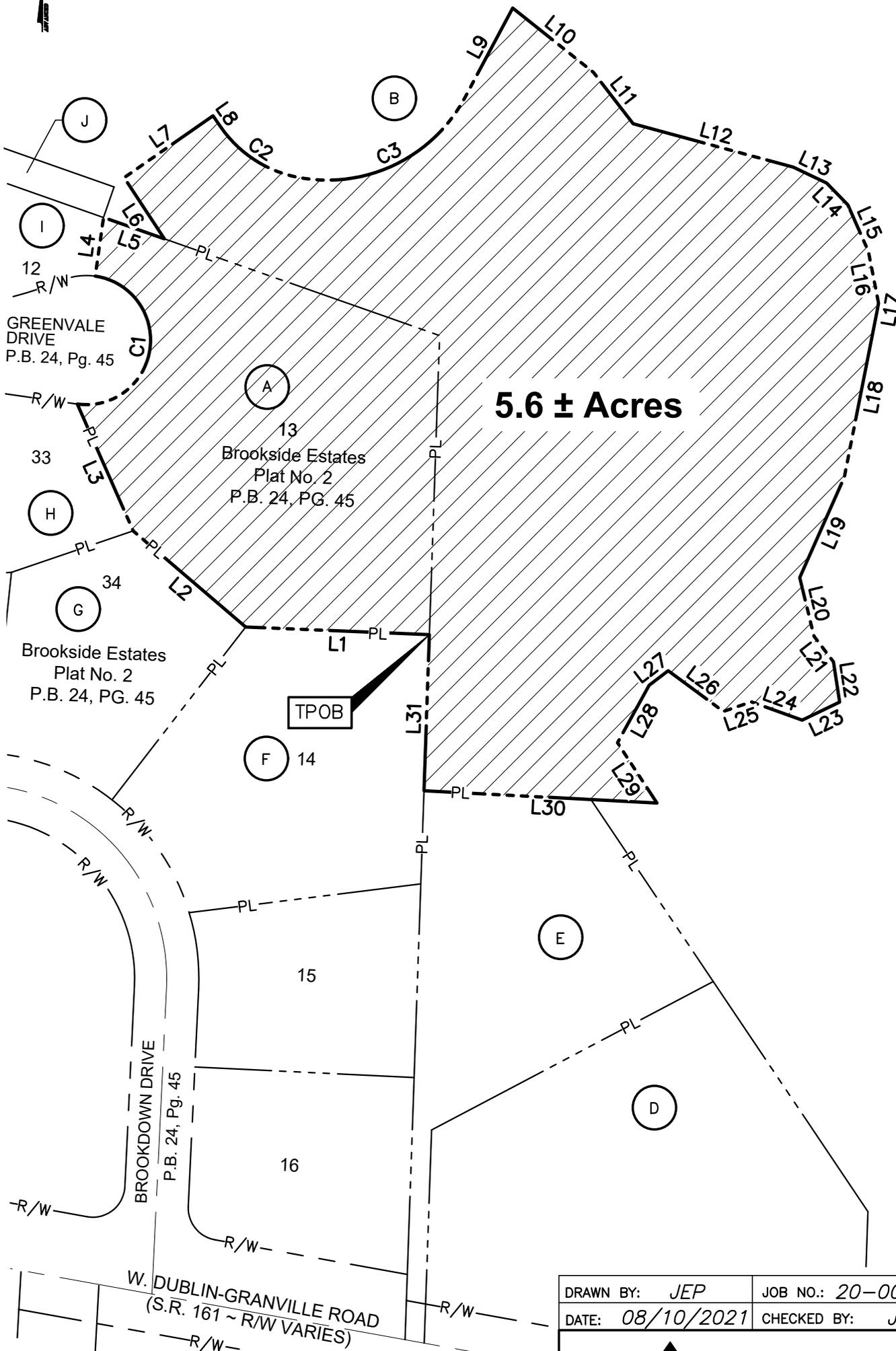
ZONING EXHIBIT ~ 5.6± ACRES

Quarter Township 4,
Township 2, Range 19
United States Military District
Perry Township, Franklin
County, Ohio

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.



DRAWN BY: JEP	JOB NO.: 20-0011-642
DATE: 08/10/2021	CHECKED BY: JEP



ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

Sheet 1 of 2

781 Science Blvd, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

This exhibit is created from information obtained from the Franklin County Auditor's Office and the Franklin County Recorder's Office. This exhibit is not to be used for the transfer of land.

Z:\20-0011-642\DWG\PRODUCTION DRAWINGS\SURVEY\base for zoning description.dwg Layout1 Aug 10, 2021 - 1:24:13pm jphelps

ZONING EXHIBIT ~ 5.6± ACRES

Quarter Township 4,
Township 2, Range 19
United States Military District
Perry Township, Franklin
County, Ohio

OWNERSHIP INFORMATION

- (A) B.B.C. Cottages LLC
P.N. 213-000570
I.N. 201807030088260
I.N. 201807030088261
I.N. 201807030088262
- (B) The Brookside Golf & Country Club Company
P.N. 213-000438
D.V. 1205 Pg. 659
Second or West Tract
62.343 Acre (remainder)
- (C) The Brookside Golf & Country Club Company
P.N. 213-000345
D.V. 1205 657
244.584 Ac. (remainder)
- (D) Andrew Blackmore
P.N. 213-000601
I.N. 201406130074512
1.892 Ac.
- (E) Mark McCarty and Cindy N. McCarty
P.N. 610-231806 & 610-231807
I.N. 200107240168031
0.974 Ac.
- (F) Robert W. Nemeth
P.N. 213-000571
I.N. 200706290113860
- (G) Sam C. Swartz
P.N. 213-000591
I.N. 201412010159064
- (H) Philip W. Evanoff
P.N. 213-000590
I.N. 200203140066706
- (I) Robert O. Click and Amy W. Click
I.N. 201110030124684
- (J) Robert O. Click and Amy W. Click
I.N. 201807060090016
0.161 Ac.

LINE TABLE		
LINE	DISTANCE	BEARING
L1	143.0'±	N87°36'49"W
L2	114.9'±	N49°38'49"W
L3	107.4'±	N23°52'19"W
L4	45.9'±	N08°04'11"E
L5	50.2'±	S70°43'59"E
L6	56.8'±	N33°25'15"W
L7	84.1'±	S55°17'48"W
L8	10.3'±	S34°42'12"E
L9	78.4'±	N28°11'44"E
L10	80.1'±	S51°37'13"E
L11	50.5'±	S37°50'44"E
L12	129.0'±	S74°54'53"E
L13	28.7'±	S64°42'12"E
L14	23.7'±	S44°14'23"E
L15	39.4'±	S23°53'11"E
L16	40.8'±	S11°08'25"E

LINE TABLE		
LINE	DISTANCE	BEARING
L17	6.5'±	S10°16'12"W
L18	130.9'±	S11°14'16"W
L19	85.1'±	S24°02'35"W
L20	46.7'±	S13°42'47"E
L21	24.9'±	S37°17'28"E
L22	31.5'±	S08°53'09"E
L23	32.4'±	S64°23'24"W
L24	42.1'±	N70°21'05"W
L25	22.9'±	S70°51'19"W
L26	53.3'±	N53°39'45"W
L27	18.6'±	S52°49'15"W
L28	50.9'±	S28°56'40"W
L29	55.8'±	S33°18'39"E
L30	181.5'±	N87°01'09"W
L31	120.9'±	N01°58'51"E

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	180°07'03"	50.00'	157.2'±	N08°01'04"E	100.0'±
C2	44°14'43"	94.84'	73.2'±	S56°48'09"E	71.4'±
C3	72°52'45"	121.59'	154.7'±	N64°38'06"E	144.4'±

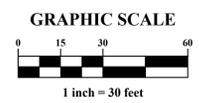
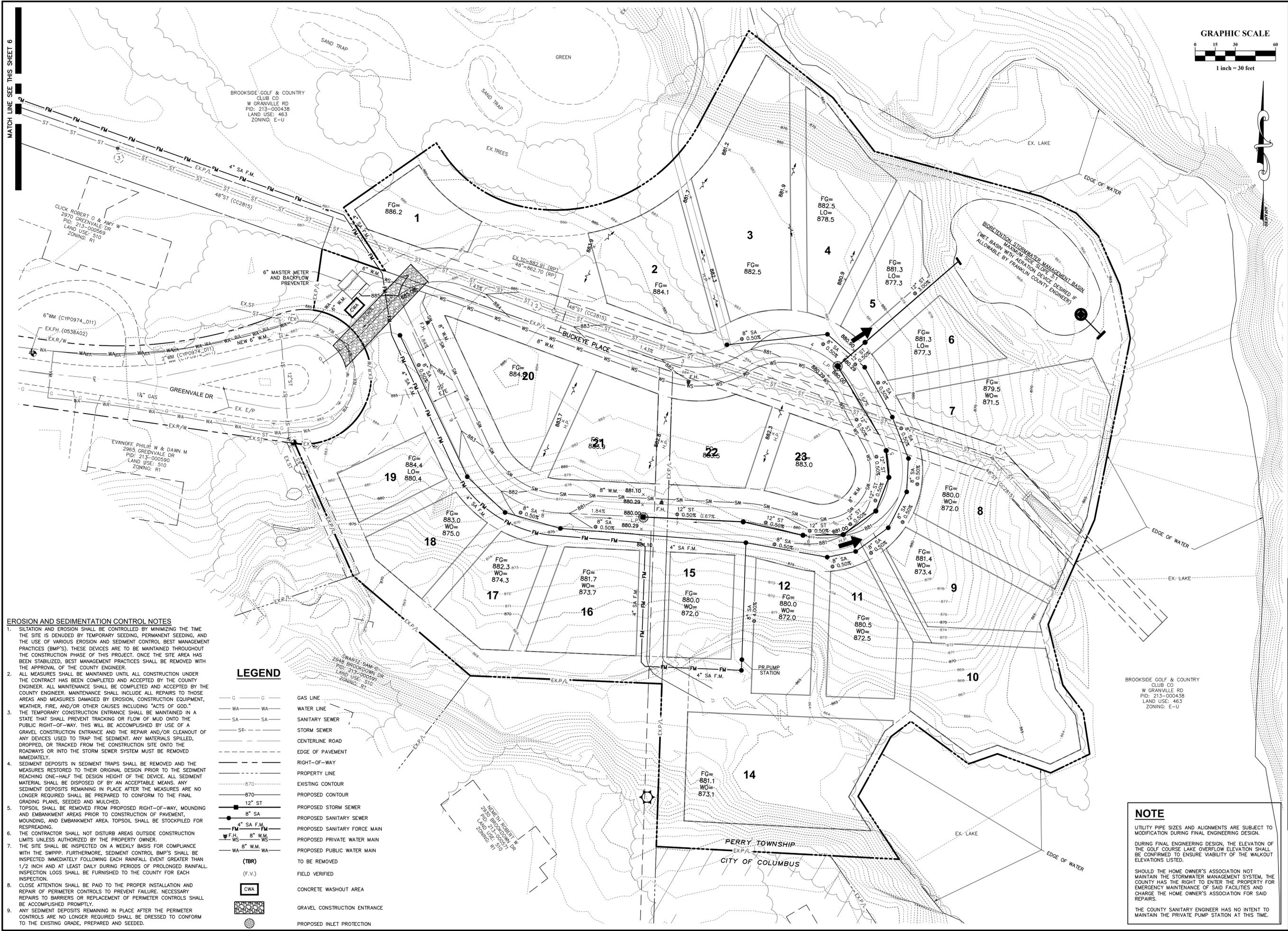
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DATE: 08/10/2021	CHECKED BY: JEP



ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

Sheet 2 of 2

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MATCH LINE SEE THIS SHEET 6

- EROSION AND SEDIMENTATION CONTROL NOTES**
- SILTATION AND EROSION SHALL BE CONTROLLED BY MINIMIZING THE TIME THE SITE IS DENuded BY TEMPORARY SEEDING, PERMANENT SEEDING, AND THE USE OF VARIOUS EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S). THESE DEVICES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT. ONCE THE SITE AREA HAS BEEN STABILIZED, BEST MANAGEMENT PRACTICES SHALL BE REMOVED WITH THE APPROVAL OF THE COUNTY ENGINEER.
 - ALL MEASURES SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION UNDER THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED BY THE COUNTY ENGINEER. ALL MAINTENANCE SHALL BE COMPLETED AND ACCEPTED BY THE COUNTY ENGINEER. MAINTENANCE SHALL INCLUDE ALL REPAIRS TO THOSE AREAS AND MEASURES DAMAGED BY EROSION, CONSTRUCTION EQUIPMENT, WEATHER, FIRE, AND/OR OTHER CAUSES INCLUDING "ACTS OF GOD." THE TEMPORARY CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A STATE THAT SHALL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. THIS WILL BE ACCOMPLISHED BY USE OF A GRAVEL CONSTRUCTION ENTRANCE AND THE REPAIR AND/OR CLEANOUT OF ANY DEVICES USED TO TRAP THE SEDIMENT. ANY MATERIALS SPILLED, DROPPED, OR TRACKED FROM THE CONSTRUCTION SITE ONTO THE ROADWAYS OR INTO THE STORM SEWER SYSTEM MUST BE REMOVED IMMEDIATELY.
 - SEDIMENT DEPOSITS IN SEDIMENT TRAPS SHALL BE REMOVED AND THE MEASURES RESTORED TO THEIR ORIGINAL DESIGN PRIOR TO THE SEDIMENT REACHING ONE-HALF THE DESIGN HEIGHT OF THE DEVICE. ALL SEDIMENT MATERIAL SHALL BE DISPOSED OF BY AN ACCEPTABLE MEANS. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE MEASURES ARE NO LONGER REQUIRED SHALL BE PREPARED TO CONFORM TO THE FINAL GRADING PLANS, SEEDED AND MULCHED.
 - TOPSOIL SHALL BE REMOVED FROM PROPOSED RIGHT-OF-WAY, MOUNDING AND EMBANKMENT AREAS PRIOR TO CONSTRUCTION OF PAVEMENT, MOUNDING, AND EMBANKMENT AREA. TOPSOIL SHALL BE STOCKPILED FOR RESPREADING.
 - THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE CONSTRUCTION LIMITS UNLESS AUTHORIZED BY THE PROPERTY OWNER.
 - THE SITE SHALL BE INSPECTED ON A WEEKLY BASIS FOR COMPLIANCE WITH THE SWPPP. FURTHERMORE, SEDIMENT CONTROL BMP'S SHALL BE INSPECTED IMMEDIATELY FOLLOWING EACH RAINFALL EVENT GREATER THAN 1/2 INCH AND AT LEAST DAILY DURING PERIODS OF PROLONGED RAINFALL. INSPECTION LOGS SHALL BE FURNISHED TO THE COUNTY FOR EACH INSPECTION.
 - CLOSE ATTENTION SHALL BE PAID TO THE PROPER INSTALLATION AND REPAIR OF PERIMETER CONTROLS TO PREVENT FAILURE. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF PERIMETER CONTROLS SHALL BE ACCOMPLISHED PROMPTLY.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE PERIMETER CONTROLS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

LEGEND

	GAS LINE
	WATER LINE
	SANITARY SEWER
	STORM SEWER
	CENTERLINE ROAD
	EDGE OF PAVEMENT
	RIGHT-OF-WAY
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY FORCE MAIN
	PROPOSED PRIVATE WATER MAIN
	PROPOSED PUBLIC WATER MAIN
	TO BE REMOVED
	FIELD VERIFIED
	CONCRETE WASHOUT AREA
	GRAVEL CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION

NOTE

UTILITY PIPE SIZES AND ALIGNMENTS ARE SUBJECT TO MODIFICATION DURING FINAL ENGINEERING DESIGN.

DURING FINAL ENGINEERING DESIGN, THE ELEVATION OF THE GOLF COURSE LAKE OVERFLOW ELEVATION SHALL BE CONFIRMED TO ENSURE VIABILITY OF THE WALKOUT ELEVATIONS LISTED.

SHOULD THE HOME OWNER'S ASSOCIATION NOT MAINTAIN THE STORMWATER MANAGEMENT SYSTEM, THE COUNTY HAS THE RIGHT TO ENTER THE PROPERTY FOR EMERGENCY MAINTENANCE OF SAID FACILITIES AND CHARGE THE HOME OWNER'S ASSOCIATION FOR SAID REPAIRS.

THE COUNTY SANITARY ENGINEER HAS NO INTENT TO MAINTAIN THE PRIVATE PUMP STATION AT THIS TIME.

PLAN PREPARED BY:
 BOB WEBB GROUP
 7662 NORTH CENTRAL DRIVE
 LEWIS CENTER, OHIO 43035
 ATTN: BRANDON BELL
 614.207.1574
 BRANDON.BELL@BOBWEBB.COM

PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
**FINAL DEVELOPMENT PLAN FOR
 BROOKSIDE COTTAGES**
 FOR
BOB WEBB GROUP
GRADING & UTILITY PLAN

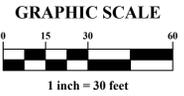
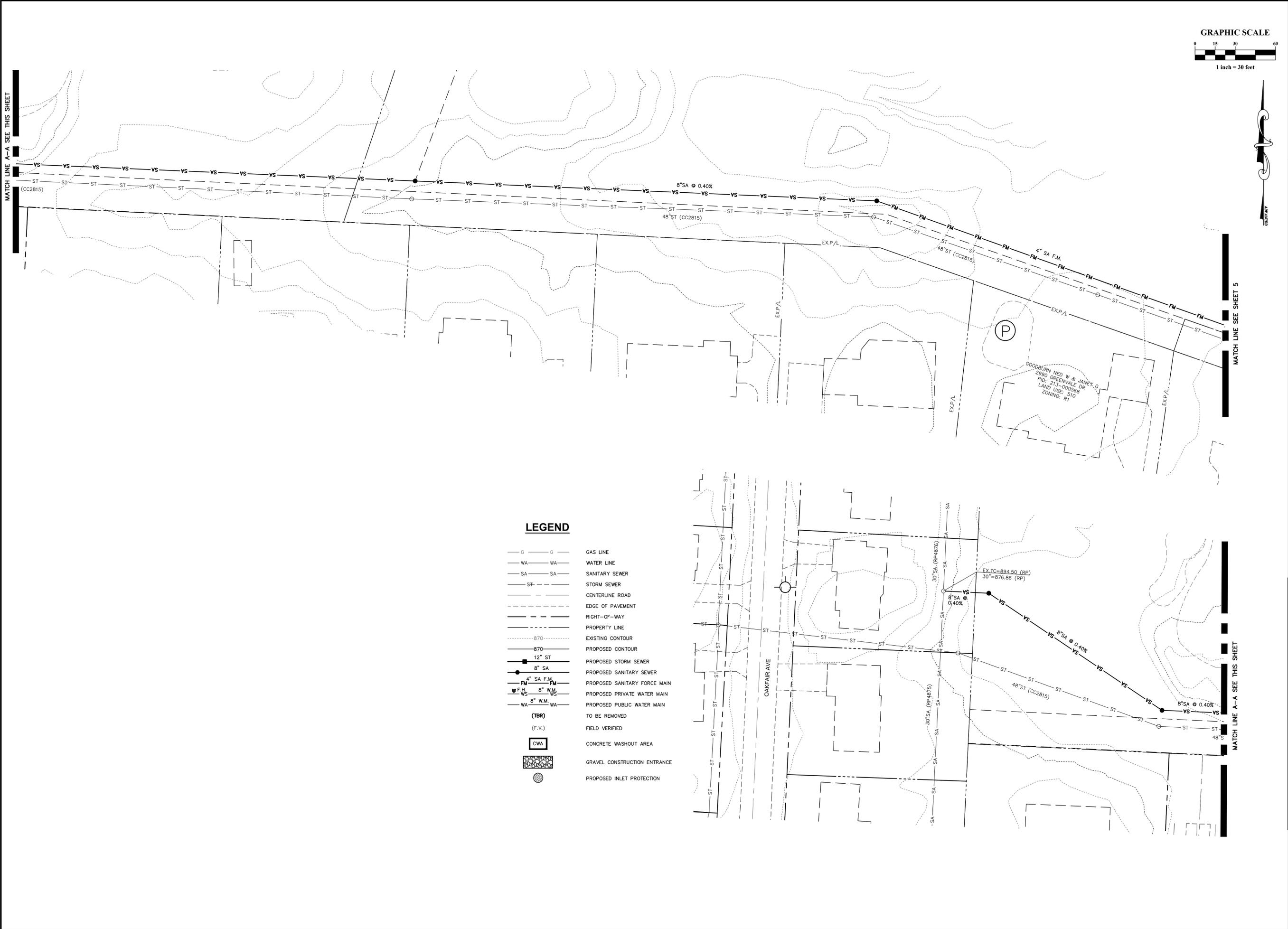
No.	Revision	Date	Approved

**PRELIMINARY NOT
 FOR CONSTRUCTION**

Date: 03/15/2022
 Scale: 1"=30'
 Drawn By: CLE
 Checked By: DDD
 Project Number:
 20-0011-642
 Drawing Number:
5 / 7

ADVANCED
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Z:\20-0011-642\DWG\production drawings\PRE DEVELOPMENT PLAN\Preliminary Grading & Utility Plan.dwg GRADING & UTILITY PLAN (2) Mar 15, 2022 - 2:08:17pm cecchierry



LEGEND

- | | |
|------------------|------------------------------|
| — G — G — | GAS LINE |
| — WA — WA — | WATER LINE |
| — SA — SA — | SANITARY SEWER |
| — ST — ST — | STORM SEWER |
| — | CENTERLINE ROAD |
| — | EDGE OF PAVEMENT |
| — | RIGHT-OF-WAY |
| — | PROPERTY LINE |
| — | EXISTING CONTOUR |
| — | PROPOSED CONTOUR |
| — 12" ST — | PROPOSED STORM SEWER |
| — 8" SA — | PROPOSED SANITARY SEWER |
| — 4" SA F.M. — | PROPOSED SANITARY FORCE MAIN |
| — F.H. 8" W.M. — | PROPOSED PRIVATE WATER MAIN |
| — WA 8" W.M. — | PROPOSED PUBLIC WATER MAIN |
| (TBR) | TO BE REMOVED |
| (F.V.) | FIELD VERIFIED |
| [CWA] | CONCRETE WASHOUT AREA |
| [Gravel] | GRAVEL CONSTRUCTION ENTRANCE |
| [Circle] | PROPOSED INLET PROTECTION |

PLAN PREPARED BY:

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:
BOB WEBB GROUP
 7662 NORTH CENTRAL DRIVE
 LEWIS CENTER, OHIO 43035
 ATTN: BRANDON BELL
 614.207.1574
 BRANDON.BELL@BOBWEBB.COM

PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
**FINAL DEVELOPMENT PLAN FOR
 BROOKSIDE COTTAGES**
 FOR
BOB WEBB GROUP
GRADING & UTILITY PLAN

No.	Revision	Date	Approved

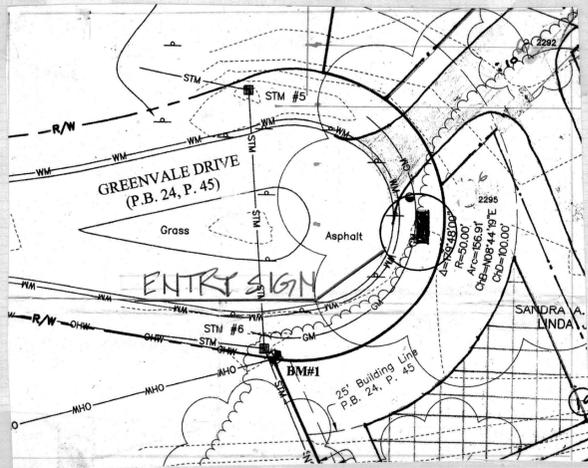
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Drawn By: CLE
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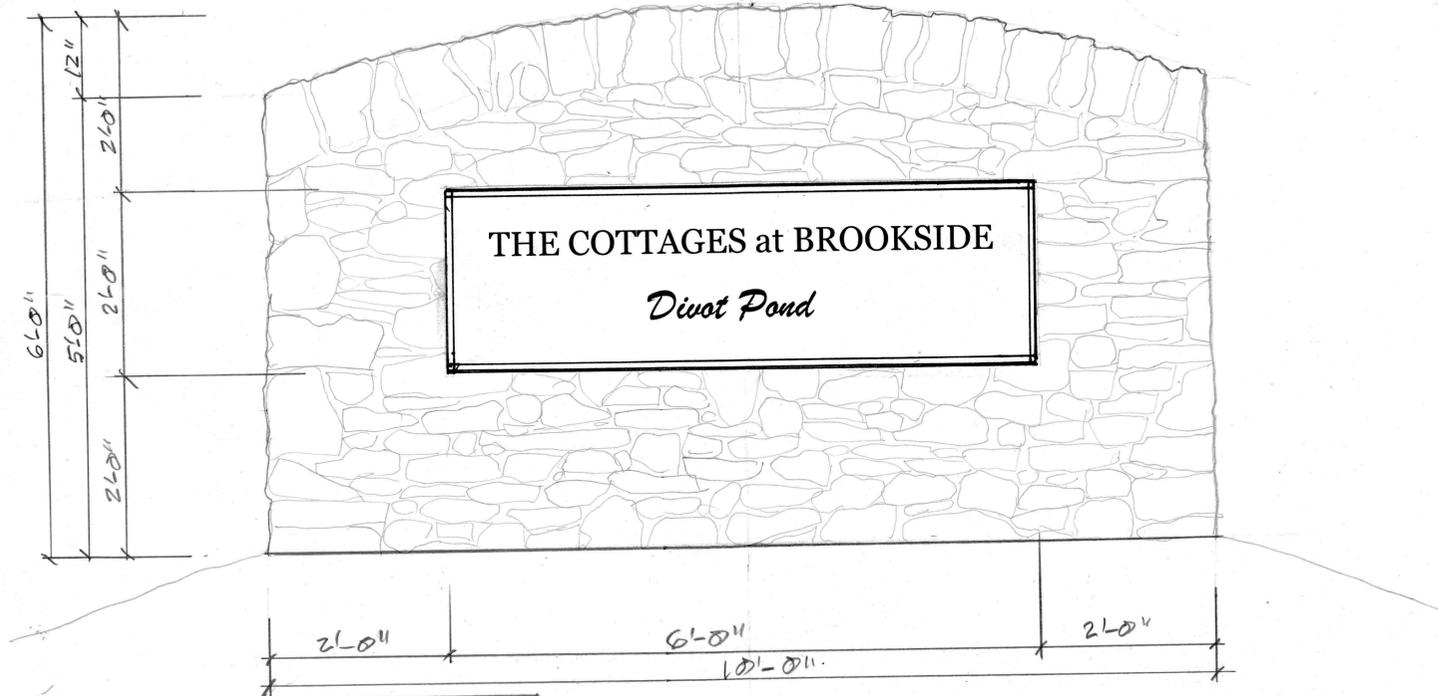
Project Number:
 20-0011-642

Drawing Number:
6 / 7



LOCATOR MAP

1"=30'



- SPEC
- 12" X 36" X 1/4" REINFC CONC FTG.
 - SOLID FILLER & REINFC 12" CMU
 - STONE VENEER
 - CAST BRONZE SIGN

ENTRY SIGN ELEVATION

- PROPERTY LINE
- EDGE OF STREET
- 6'-0" EVERGREENS

- SIGN 18" X 10" X 6"
- ENGLISH IVY @ 20" O.C. EX.

- 3 UPLITES

- EARTH BERM SLOPE UP TO SIGN 3'-0"
- COMPACTED (4'-0" X 14'-0" @ SIGN)

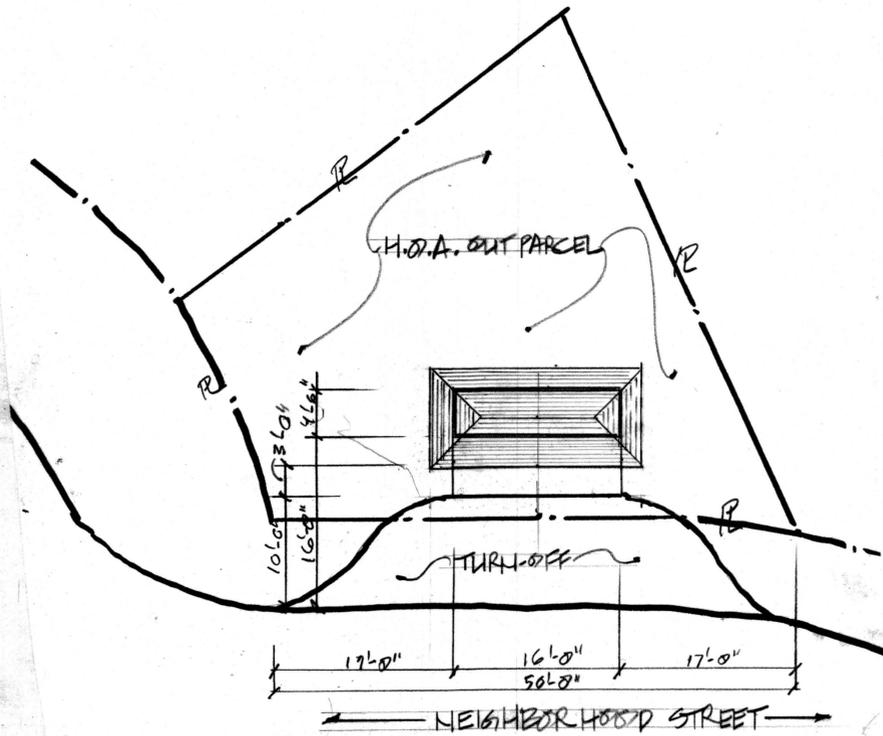
LANDSCAPE/LIGHTING/SITE PLAN

1/4"

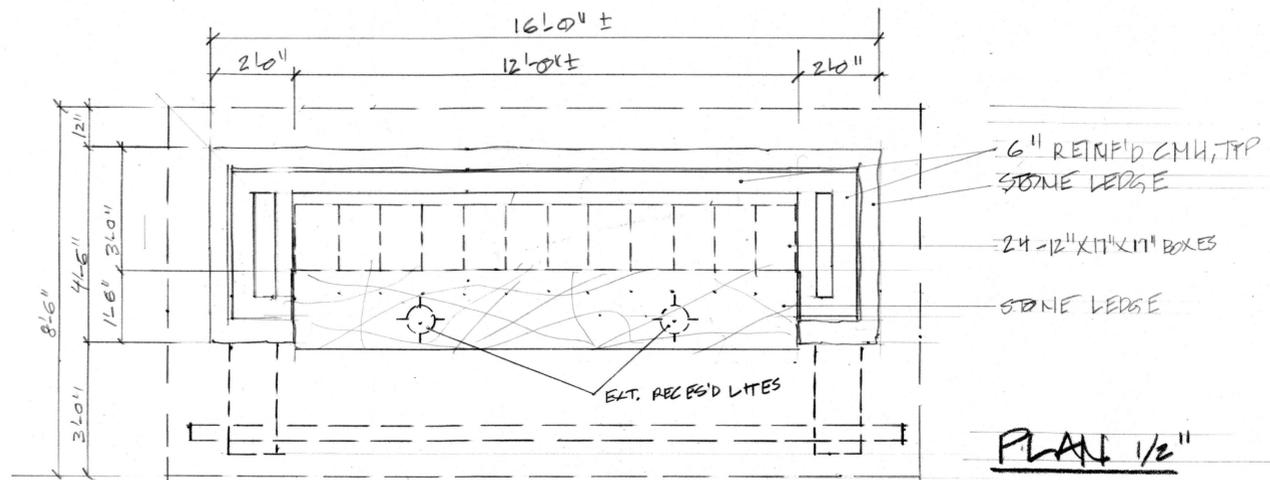
THE COTTAGES @ BROOKSIDE
ENTRY SIGN

1/21/11

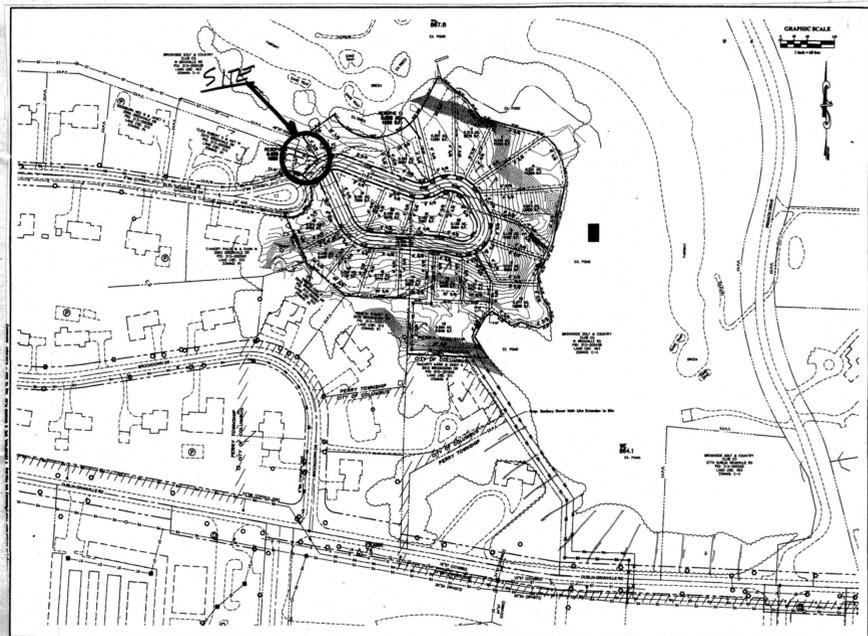
LAPLANTE ASSOC.



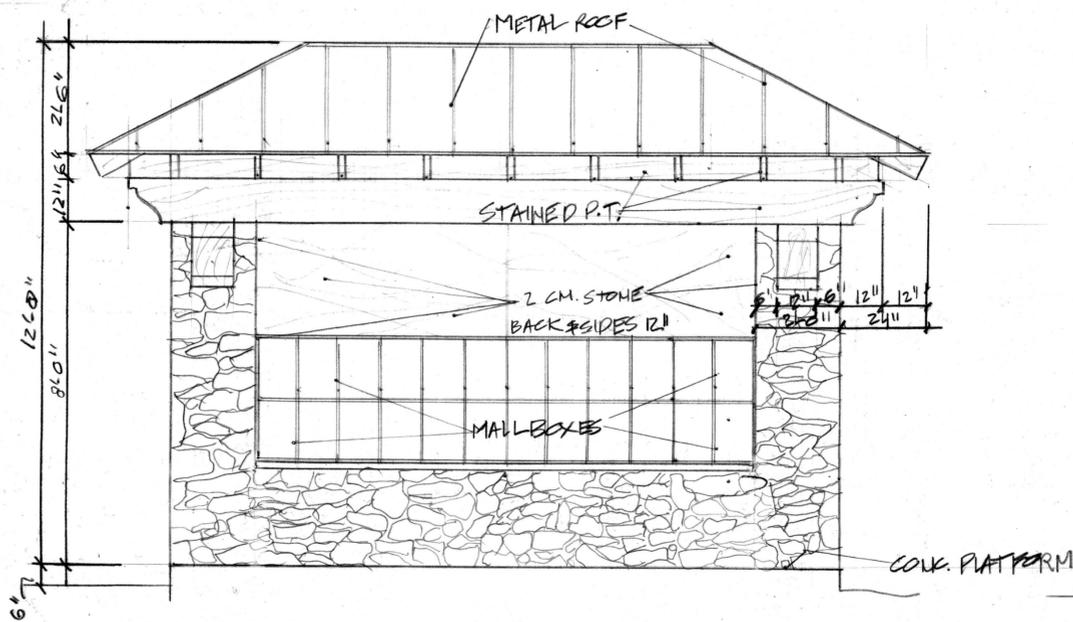
SITE PLAN 1/8"



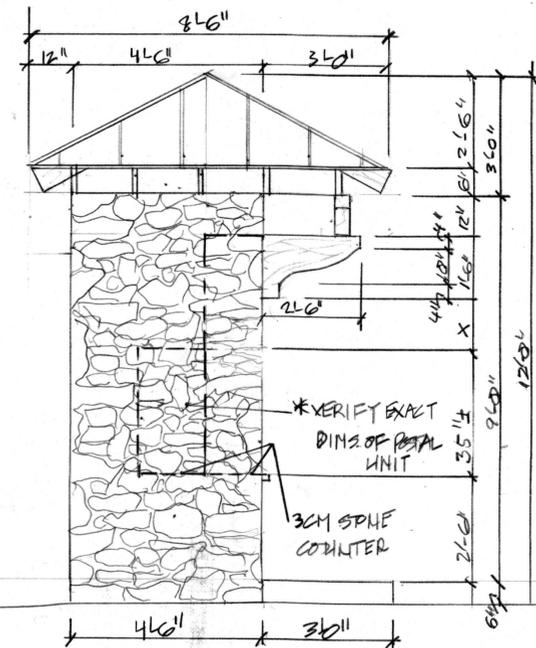
PLAN 1/2"



SITE LOCATOR PLAN



FRONT 1/2"



SIDE 1/2"

1/2" = 1'-0"

U.S. MAIL SUPPLY
(262-782-6510)

THE COTTAGES @ BROOKSIDE
MAILBOX KIOSK

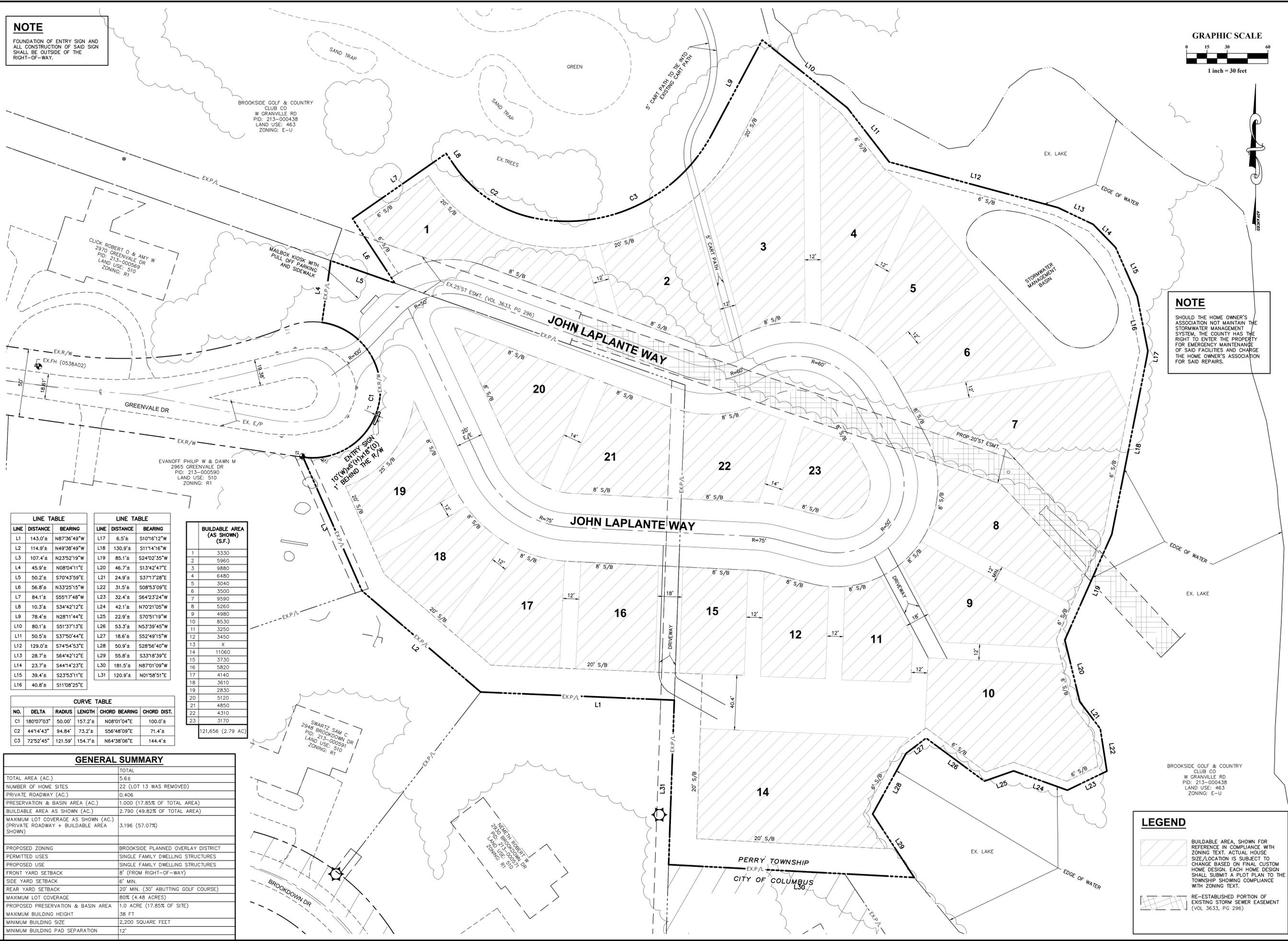
Date _____ Job No _____
 Dwg. By _____ Chk. By _____
 Revisions _____
 No. | Date | Description

Laplante Associates
 Architecture
 Interior Architecture
 Kiawah Island, SC

NOTE
 FOUNDATION OF ENTRY SIGN AND ALL CONSTRUCTION OF SAID SIGN SHALL BE OUTSIDE OF THE RIGHT-OF-WAY.



NOTE
 SHOULD THE HOME OWNER'S ASSOCIATION NOT MAINTAIN THE STORMWATER MANAGEMENT SYSTEM, THE COUNTY HAS THE RIGHT TO ENTER THE PROPERTY FOR EMERGENCY MAINTENANCE OF SAID FACILITIES AND CHARGE THE HOME OWNER'S ASSOCIATION FOR SAID REPAIRS.



LINE TABLE		LINE TABLE			
LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING
L1	143.0'	N87°36'49"W	L17	6.5'	S101°6'12"W
L2	114.9'	N49°38'49"W	L18	130.9'	S111°4'16"W
L3	107.4'	N23°52'19"W	L19	85.1'	S24°02'35"W
L4	45.9'	N08°04'11"E	L20	46.7'	S13°42'47"E
L5	50.2'	S70°43'59"E	L21	24.9'	S37°17'28"E
L6	56.8'	N33°25'15"W	L22	31.5'	S08°53'09"E
L7	84.1'	S55°17'48"W	L23	32.4'	S64°23'24"W
L8	10.3'	S34°42'12"E	L24	42.1'	N70°21'05"W
L9	78.4'	N28°11'44"E	L25	22.9'	S70°51'19"W
L10	80.1'	S51°37'13"E	L26	53.3'	N53°39'45"W
L11	50.5'	S37°50'44"E	L27	18.6'	S52°49'15"W
L12	129.0'	S74°54'53"E	L28	50.9'	S28°56'40"W
L13	28.7'	S64°42'12"E	L29	55.8'	S33°18'39"E
L14	23.7'	S44°14'23"E	L30	181.5'	N87°01'09"W
L15	39.4'	S23°53'11"E	L31	120.9'	N01°58'51"E
L16	40.8'	S11°08'25"E			

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	180°07'03"	50.00'	157.2'	N08°01'04"E	100.0'
C2	44°14'43"	94.84'	73.2'	S56°48'09"E	71.4'
C3	72°52'45"	121.59'	154.7'	N64°38'08"E	144.4'

BUILDABLE AREA (AS SHOWN) (S.F.)	
1	3330
2	5960
3	9880
4	6480
5	3040
6	3500
7	9590
8	5260
9	4980
10	8530
11	3250
12	3450
13	X
14	11060
15	3730
16	5820
17	4140
18	3610
19	2830
20	5120
21	4850
22	4310
23	3170

GENERAL SUMMARY	
TOTAL AREA (AC.)	5.6±
NUMBER OF HOME SITES	22 (LOT 13 WAS REMOVED)
PRIVATE ROADWAY (AC.)	0.406
PRESERVATION & BASIN AREA (AC.)	1.000 (17.85% OF TOTAL AREA)
BUILDABLE AREA AS SHOWN (AC.)	2.790 (49.82% OF TOTAL AREA)
MAXIMUM LOT COVERAGE AS SHOWN (AC.) (PRIVATE ROADWAY + BUILDABLE AREA SHOWN)	3.196 (57.07%)
PROPOSED ZONING	BROOKSIDE PLANNED OVERLAY DISTRICT
PERMITTED USES	SINGLE FAMILY DWELLING STRUCTURES
PROPOSED USE	SINGLE FAMILY DWELLING STRUCTURES
FRONT YARD SETBACK	8' (FROM RIGHT-OF-WAY)
SIDE YARD SETBACK	6' MIN.
REAR YARD SETBACK	20' MIN. (30' ABUTTING GOLF COURSE)
MAXIMUM LOT COVERAGE	80% (4.48 ACRES)
PROPOSED PRESERVATION & BASIN AREA	1.0 ACRE (17.85% OF SITE)
MAXIMUM BUILDING HEIGHT	38 FT
MINIMUM BUILDING SIZE	2,200 SQUARE FEET
MINIMUM BUILDING PAD SEPARATION	12'

LEGEND	
	BUILDABLE AREA, SHOWN FOR REFERENCE IN COMPLIANCE WITH ZONING TEXT. ACTUAL HOUSE SIZE/LOCATION IS SUBJECT TO CHANGE BASED ON FINAL CUSTOM HOME DESIGN. EACH HOME DESIGN SHALL SUBMIT A PLOT PLAN TO THE TOWNSHIP SHOWING COMPLIANCE WITH ZONING TEXT.
	RE-ESTABLISHED PORTION OF EXISTING STORM SEWER EASEMENT (VOL. 3633, PG. 296)

PLAN PREPARED BY:
 ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 781 Science Blvd., Suite 100
 Gahanna, Ohio 43230
 PH 614.428.7760
 FAX 614.428.7755

PLAN PREPARED FOR:
 BOB WEBB GROUP
 7662 NORTH CENTRAL DRIVE
 LEWIS CENTER, OHIO 43035
 ATTN: BRANDON BELL
 614.207.1574
 BRANDON.BELL@BOBWEBB.COM

PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN FOR BROOKSIDE COTTAGES FOR BOB WEBB GROUP SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION

No.	Revision	Date	Approved

Date: 03/15/2022
 Scale: 1"=30'
 Drawn By: CLE
 Checked By: DDD
 Project Number: 20-0011-642
 Drawing Number: 4 / 7

Z:\20-0011-642\DWG\production drawings\PRE DEVELOPMENT PLAN\Preliminary Site Plan.dwg SITE PLAN Mar 15, 2022 - 1:45:36pm cecelberry

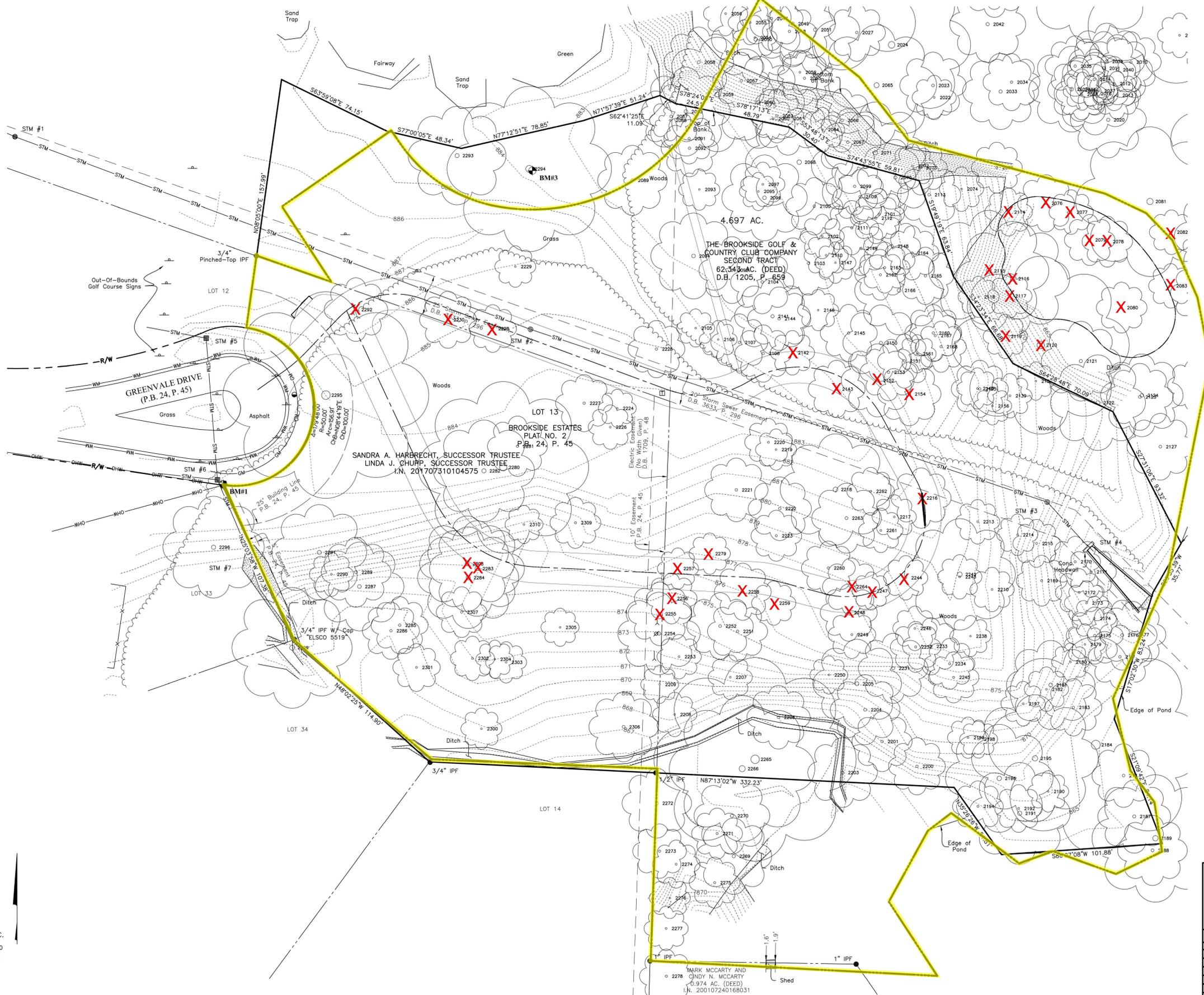
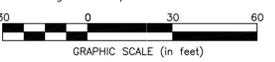
TOPOGRAPHIC SURVEY

QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 19 UNITED STATES MILITARY LANDS TOWNSHIP OF PERRY, COUNTY OF FRANKLIN, STATE OF OHIO

- STM #1 Grated Storm Manhole T/C = 886.36
(E) 48" Conc. Inv. = 864.93
(W) 48" Conc. Inv. = 864.94
- STM #2 Storm Manhole T/C = 884.33
(E) 48" Conc. Inv. = 863.37
(W) 48" Conc. Inv. = 863.38
- STM #3 Storm Manhole T/C = 873.20
(SE) 48" Conc. Inv. = 861.15
(W) 48" Conc. Inv. = 861.16
- STM #4 (NW) 48" Conc. Top of Pipe = 860.57
- STM #5 Domed Catch Basin T/C = 881.94
(W) 12" Terra Cotta Inv. = 879.85
(S) 12" Conc. Inv. = 879.22
- STM #6 Domed Catch Basin T/C = 881.92
(N) 12" Conc. Inv. = 877.57
(S) 18" Conc. Inv. = 877.21
(W) 8" Terra Cotta Inv. = 880.44
- STM #7 (N) 18" Conc. Inv. = 872.29

LEGEND	
	Unused Utility Pole
	Guy Wire & Anchor
	Utility Pole
	Sign
	Telephone Pedestal Box
	Gas Marker Post
	Catch Basin
	Storm Sewer Manhole
	Storm Sewer Grate Manhole
	Tree/Bush Line
	Fence Line
	Water Line
	Gas Line
	Storm Line
	Overhead Wires

- -
 -
 -
 -
 -
 -
 -
 -
 -
- I.P. Set are 13/16" I.D. iron pipes
30" long with cap inscribed EMHT INC.



- BM#1 = 883.50
Railroad spike in the north side of a wooden utility pole located on the south side of the Greenvale Drive cul-de-sac, at the northeast corner of residence #2965.
- BM#2 = 888.74 (Off Site, Not Shown Hereon)
Railroad spike in the south side of a wooden utility pole located on the north side of Greenvale Drive, at the southwest corner of residence #2990.
- BM#3 = 885.32
Railroad spike in the south root of a 36 inch maple tree located 50 feet south of the Brookside Country Club (2770 West Dublin Granville Road) hole #11 green and 200 feet northeast of the Greenvale Drive cul-de-sac.

BASIS OF BEARINGS:
The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (2011). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected stations in the Ohio Department of Transportation Virtual Reference Station network.

Vertical Datum Note:
The elevations shown on this map are based on the North American Vertical Datum of 1988. Said elevations are based upon positional solutions derived from RTK GPS observations using the Ohio Department of Transportation Virtual Reference Station equipment and software and the National Geodetic Survey's GEOID12A model. Elevations from said traverse control points were then transferred by conventional leveling procedures to the permanent benchmarks listed hereon.

SURVEY NOTE:
This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.

FEMA NOTE:
The subject tract is located within the area indicated on Federal Emergency Management Agency's Flood Insurance Rate Map No. 39049C0154K. According to Map Index No. 39049CIND1D, (dated June 16, 2011), the panel was not printed as it contains no special flood hazard areas.

UTILITY STATEMENT:
A Utility Marking and Plans request was submitted to Ohio Utility Protection Service (OUPS) on July 19, 2017. The utilities shown hereon are based on field survey information and review of utility plans (received by August 2, 2017). The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible.

X = Tree to be removed for roadway and stormwater management basin

By _____ Date _____
Matthew A. Kirk
Professional Surveyor No. 7865

EMHT		
Evans, Mieschwart, Hornblaton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5800 New Albany Road, Columbus, OH 43248 Phone: 614.275.4500 Toll Free: 888.773.3648 emht.com		
Date: August 4, 2017	Scale: 1" = 30'	
Job No: 2017-0845	Sheet: 1 of 2	
REVISIONS		
MARK	DATE	DESCRIPTION

P GRAPHIC SURVEY

AR RER SHIP SHIP RA GE 1
I E S A ES MILI AR LA S
SHIP PERR C RA LI S A E HI

Point	Common Name	Condition	Trunk Count	Size
2000	Eastern Cottonwood	Dead	1	70
2001	Red Maple	Good	2	42
2002	Box Elder	Good	1	12
2003	Black Walnut	Good	1	14
2004	Black Walnut	Good	1	14
2005	Sugar Maple	Good	1	13
2006	Red Oak	Good	1	55
2007	Redbud	Good	1	35
2008	Redbud	Good	1	13
2009	Sugar Maple	Good	1	16
2010	Redbud	Good	1	19
2011	Redbud	Good	1	23
2012	Redbud	Fair	1	17
2013	Redbud	Good	1	15
2014	Redbud	Poor	1	19
2015	Redbud	Good	1	12
2016	Redbud	Good	1	26
2017	Black Walnut	Good	1	27
2018	Box Elder	Fair	1	15
2019	Box Elder	Good	1	19
2020	Black Walnut	Good	1	24
2021	Box Elder	Good	1	12
2022	American Elm	Fair	1	14
2023	White Ash	Good	1	21
2024	Eastern Cottonwood	Good	1	50
2025	Box Elder	Good	1	16
2026	Box Elder	Good	1	17
2027	Black Walnut	Good	1	18
2028	Black Walnut	Good	1	58
2029	Sugar Maple	Good	1	26
2030	Sugar Maple	Good	1	20
2031	Sugar Maple	Good	1	14
2032	Box Elder	Good	1	12
2033	Eastern Cottonwood	Good	1	24
2034	Sycamore	Good	1	18
2035	Black Walnut	Good	1	19
2036	Redbud	Good	1	20
2037	American Elm	Good	1	12
2038	Redbud	Fair	1	16
2039	Redbud	Good	1	24
2040	Redbud	Good	1	22
2041	Box Elder	Good	1	13
2042	Black Walnut	Good	1	24
2043	Redbud	Good	1	21
2044	Redbud	Good	1	16
2045	Redbud	Good	1	14
2046	Box Elder	Good	1	12
2047	Redbud	Dead	1	20
2048	Redbud	Good	2	17
2049	Redbud	Good	3	27
2050	Redbud	Good	1	28
2051	Redbud	Good	1	28
2052	Redbud	Good	1	14
2053	Redbud	Good	1	17
2054	Red Maple	Good	1	14
2055	Red Maple	Good	1	14
2056	Ohio Buckeye	Good	2	14
2057	White Ash	Good	1	18
2058	Hackberry	Good	1	22
2059	Redbud	Good	2	36
2060	Redbud	Good	2	29
2061	Sugar Maple	Good	1	13
2062	Redbud	Good	1	17
2063	Black Walnut	Good	1	23
2064	Hackberry	Good	1	14
2065	Redbud	Good	3	38
2066	Sycamore	Good	1	20
2067	White Oak	Good	1	21
2068	Black Walnut	Dead	2	34
2069	Black Walnut	Dead	1	34
2070	Black Walnut	Poor	1	24
2071	Sugar Maple	Good	2	32
2072	Hackberry	Good	1	14
2073	Black Walnut	Fair	1	17
2074	Redbud	Fair	1	14
2075	Red Maple	Fair	1	16
2076	Hackberry	Dead	1	18
2077	Black Locust	Fair	1	14
2078	Black Walnut	Dead	1	16
2079	Redbud	Dead	1	16
2080	Redbud	Poor	1	16

Point	Common Name	Condition	Trunk Count	Size
2081	Redbud	Good	2	47
2082	Redbud	Dead	1	14
2083	Redbud	Dead	1	14
2084	Redbud	Good	1	18
2085	Redbud	Good	1	13
2086	Redbud	Good	1	30
2087	Black Locust	Poor	1	20
2088	American Elm	Good	1	13
2089	Black Locust	Fair	2	22
2090	Black Locust	Good	1	28
2091	Sugar Maple	Good	1	16
2092	Black Locust	Good	1	18
2093	White Ash	Fair	1	13
2094	Pin Oak	Good	1	27
2095	Sugar Maple	Good	1	12
2096	Sugar Maple	Good	1	27
2097	Black Cherry	Good	1	14
2098	Sugar Maple	Good	1	21
2099	Redbud	Good	1	18
2100	Sugar Maple	Good	1	18
2101	Redbud	Good	1	16
2102	Redbud	Good	1	14
2103	Redbud	Good	1	20
2104	Redbud	Good	1	20
2105	Redbud	Poor	1	12
2106	Redbud	Good	1	12
2107	Eastern Cottonwood	Good	1	18
2108	Sugar Maple	Good	1	18
2109	Redbud	Good	1	17
2110	Redbud	Good	1	14
2111	Redbud	Good	1	17
2112	Redbud	Fair	1	16
2113	Red Oak	Good	1	20
2114	Ohio Buckeye	Good	1	15
2115	Black Locust	Good	1	38
2116	Black Locust	Good	1	36
2117	Black Locust	Good	1	14
2118	American Elm	Good	1	13
2119	Black Locust	Poor	1	14
2120	Black Locust	Poor	1	56
2121	Red Oak	Good	1	25
2122	Red Oak	Good	1	30
2123	Red Oak	Dead	1	21
2124	Redbud	Fair	2	26
2125	White Pine	Fair	1	20
2126	Redbud	Good	1	16
2127	Redbud	Good	1	21
2128	White Pine	Good	1	30
2129	White Pine	Good	1	15
2130	White Pine	Good	1	16
2131	White Pine	Good	1	16
2132	White Pine	Good	1	22
2133	White Pine	Good	1	17
2134	White Pine	Good	1	28
2135	White Pine	Fair	1	20
2136	White Pine	Good	1	12
2137	White Pine	Good	1	22
2138	White Pine	Good	1	15
2139	Sugar Maple	Good	1	14
2140	Black Cherry	Dead	1	13
2141	Sugar Maple	Good	1	24
2142	Redbud	Good	1	14
2143	Black Locust	Fair	1	18
2144	Sugar Maple	Good	1	20
2145	Redbud	Good	1	18
2146	Redbud	Poor	1	13
2147	Redbud	Poor	1	13
2148	Redbud	Good	1	18
2149	Redbud	Good	1	17
2150	Redbud	Good	1	24
2151	Redbud	Good	1	17
2152	Black Locust	Good	1	23
2153	Redbud	Fair	2	18
2154	Eastern Cottonwood	Good	1	26
2155	Sugar Maple	Fair	1	18
2156	Black Cherry	Poor	1	12
2157	Sugar Maple	Good	1	12
2158	White Pine	Good	1	15
2159	White Pine	Dead	1	28
2160	Redbud	Good	1	18
2161	Redbud	Fair	1	12

Point	Common Name	Condition	Trunk Count	Size
2162	Redbud	Fair	1	16
2163	Redbud	Good	1	16
2164	Redbud	Good	1	17
2165	Redbud	Good	1	18
2166	Redbud	Good	1	28
2167	Redbud	Good	1	16
2168	Swamp Cottonwood	Good	2	16
2169	Black Locust	Fair	1	16
2170	Northern Catalpa	Good	1	16
2171	Northern Catalpa	Good	1	16
2172	Northern Catalpa	Good	1	15
2173	Northern Catalpa	Poor	1	14
2174	Northern Catalpa	Poor	1	14
2175	Northern Catalpa	Poor	1	18
2176	Northern Catalpa	Fair	1	22
2177	Black Locust	Fair	1	21
2178	Black Locust	Poor	1	20
2179	Pignut Hickory	Good	1	13
2180	Sugar Maple	Good	1	12
2181	Black Locust	Good	1	28
2182	White Ash	Good	1	14
2183	Hackberry	Good	2	18
2184	Red Oak	Good	1	68
2185	American Basswood	Good	2	14
2186	Pin Oak	Good	1	20
2187	White Ash	Dead	1	23
2188	Silver Maple	Good	1	22
2189	Silver Maple	Good	2	40
2190	Sugar Maple	Good	1	13
2191	White Oak	Good	1	32
2192	Pignut Hickory	Good	1	15
2193	American Basswood	Good	2	22
2194	Pignut Hickory	Good	1	16
2195	Redbud	Good	2	40
2196	Redbud	Good	3	34
2197	White Ash	Good	1	14
2198	Sugar Maple	Good	1	12
2199	Redbud	Good	1	13
2200	Pignut Hickory	Good	1	18
2201	Pignut Hickory	Good	1	19
2202	Box Elder	Good	1	16
2203	Red Oak	Good	1	22
2204	Bur Oak	Good	1	22
2205	Red Oak	Good	1	28
2206	Black Locust	Good	1	20
2207	White Ash	Dead	1	14
2208	White Ash	Dead	1	14
2209	Red Maple	Good	1	12
2210	Northern Catalpa	Poor	1	14
2211	White Pine	Good	1	22
2212	White Pine	Good	1	22
2213	Northern Catalpa	Good	1	14
2214	Sugar Maple	Good	1	13
2215	Sugar Maple	Good	1	15
2216	Sugar Maple	Good	1	18
2217	Sugar Maple	Good	1	14
2218	Pin Oak	Good	1	35
2219	Red Maple	Good	1	13
2220	Northern Catalpa	Good	1	15
2221	Red Maple	Good	1	20
2222	Pin Oak	Good	1	20
2223	Sugar Maple	Good	1	16
2224	Silver Maple	Good	1	12
2225	Black Locust	Good	2	18
2226	Pin Oak	Good	1	14
2227	Red Maple	Good	1	18
2228	White Ash	Dead	1	15
2229	Black Locust	Good	1	13
2230	White Ash	Dead	2	18
2231	White Oak	Good	1	22
2232	Pignut Hickory	Good	1	16
2233	Pignut Hickory	Good	1	18
2234	Pignut Hickory	Good	1	16
2235	White Pine	Good	1	26
2236	White Pine	Good	1	20
2237	White Pine	Dead	1	18
2238	Sugar Maple	Good	1	13
2239	White Pine	Good	1	28
2240	White Pine	Fair	1	14
2241	White Pine	Fair	1	30
2242	Red Oak	Good	1	35

Point	Common Name	Condition	Trunk Count	Size
2243	Sugar Maple	Good	1	14
2244	Sugar Maple	Good	1	14
2245	Pignut Hickory	Good	1	16
2246	Northern Catalpa	Poor	1	14
2247	Red Maple	Good	1	12
2248	Sugar Maple	Good	1	18
2249	Northern Catalpa	Poor	1	15
2250	Red Maple	Good	1	12
2251	Northern Catalpa	Fair	1	19
2252	Northern Catalpa	Fair	1	21
2253	Red Maple	Good	1	14
2254	Northern Catalpa	Fair	1	26
2255	White Ash	Dead	1	20
2256	White Ash	Dead	1	16
2257	Sugar Maple	Good	1	13
2258	Red Maple	Good	1	18
2259	Red Maple	Good	1	14
2260	Red Maple	Good	1	17
2261	Red Maple	Good	1	14
2262	Red Maple	Good	1	15
2263	Red Maple	Good	1	22
2264	Red Maple	Fair	1	18
2265	Eastern Cottonwood	Good	1	64
2266	Eastern Cottonwood	Good	1	46
2267	Box Elder	Good	2	20
2268	Box Elder	Good	2	40
2269	Pignut Hickory	Good	1	24
2270	Green Ash	Dead	2	24
2271	Green Ash	Dead	1	16
2272	Green Ash	Dead	1	22
2273	Pignut Hickory	Good	1	17
2274	Red Maple	Fair	1	15
2275	Green Ash	Dead	1	16
2276	Red Maple	Good	1	13
2277	Green Ash	Dead	1	14
2278	Hackberry	Good	1	17
2279	Green Ash	Dead	1	13
2280	Eastern Cottonwood	Good	3	54
2281	Green Ash	Poor	1	19
2282	Eastern Cottonwood	Good	1	32
2283	Green Ash	Dead	3	30
2284	Green Ash	Dead	2	32
2285	Green Ash	Dead	1	18
2286	Green Ash	Dead	1	18
2287	Pin Oak	Good	1	28
2288	Red Mulberry	Good	1	24
2289	Redbud	Fair	5	22
2290	Black Cherry	Good	1	14
2291	Green Ash	Good	1	30
2292	Silver Maple	Dead	1	20
2293	Red Maple	Good	1	31
2294	Red Maple	Good	1	52
22				

December 10, 2021

Perry Township Board of Trustees
7125 Sawmill Road
Dublin, OH 43016

RE: The Cottages at Brookside Engineering Feasibility
Greenvale Drive – 5.6 Acres +/-

Dear Board Members,

Advanced Civil Design has reviewed planning and engineering documents for the proposed project known as The Cottages at Brookside in Perry Township, Franklin County, Ohio. Our review included existing engineering plans for water service, sanitary sewer service, stormwater management and roadway patterns.

It is our understanding that sanitary sewer and water services will be provided through an agreement with the City of Columbus. There is an existing sanitary sewer along the west side of Brookside Golf & Country Club, in the rear yards of the single-family residential lots along the east side of Oakfair Avenue with adequate depth and capacity to provide service for this project. Additionally, there is an existing 6" water main along the north side of Greenvale Drive that can provide the required water service for the project.

Stormwater management can be provided for the site through the use of a stormwater basin adjacent to the existing golf course pond along the east side of the site. The stormwater system will outlet into the existing pond.

Access to the site will be from the existing public street on the west side of the project, Greenvale Drive. Streets within the subdivision will be private and maintained by an association of owners.

Should you have any questions or require additional information, please contact me at your convenience.

Sincerely,
ADVANCED CIVIL DESIGN

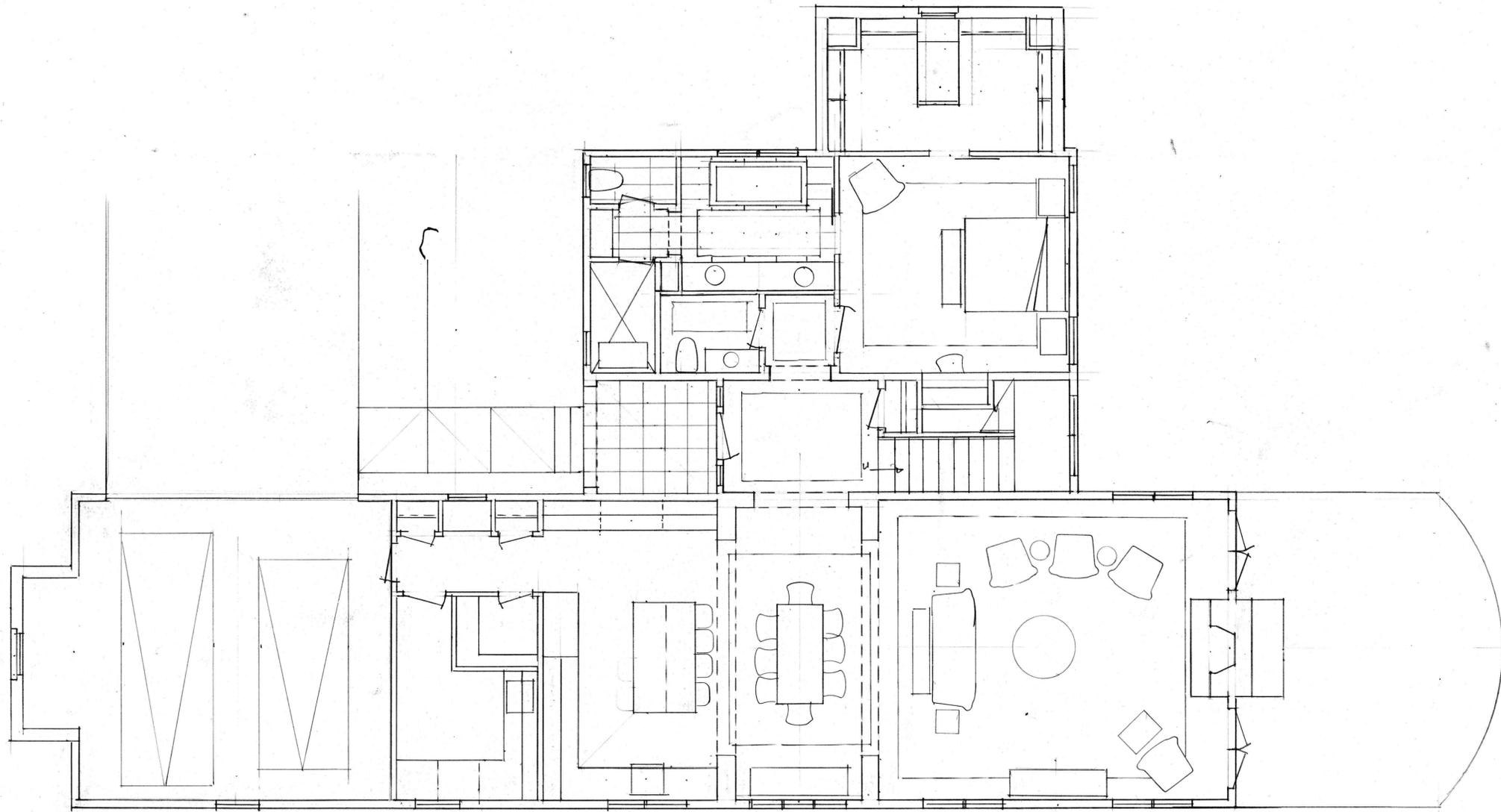


David D. Denniston, PE
Senior Project Manager

advancedcivildesign.com

NORTH CAROLINA · OHIO

COTTAGE 21 - LEVEL ONE PLAN 1/4"



21
4-17 153
31-31 1/2 977
53-6x20 1006
- 2136

COTTAGE 21 - LEVEL 1 FLOOR PLAN 1/4"



COTTAGE 21 ~ NORTH ELEVATION 1/4"



COTTAGE 21 ~ EAST ELEVATION 1/4"

Date	Job No.	
Dwg. By	Chk. By	
Revisions		
No.	Date	Description
<p>Laplante Associates Architecture Interior Architecture Kiawah Island, SC</p>		

4.1.21



COTTAGE 21 ~ SOUTH 1/4"

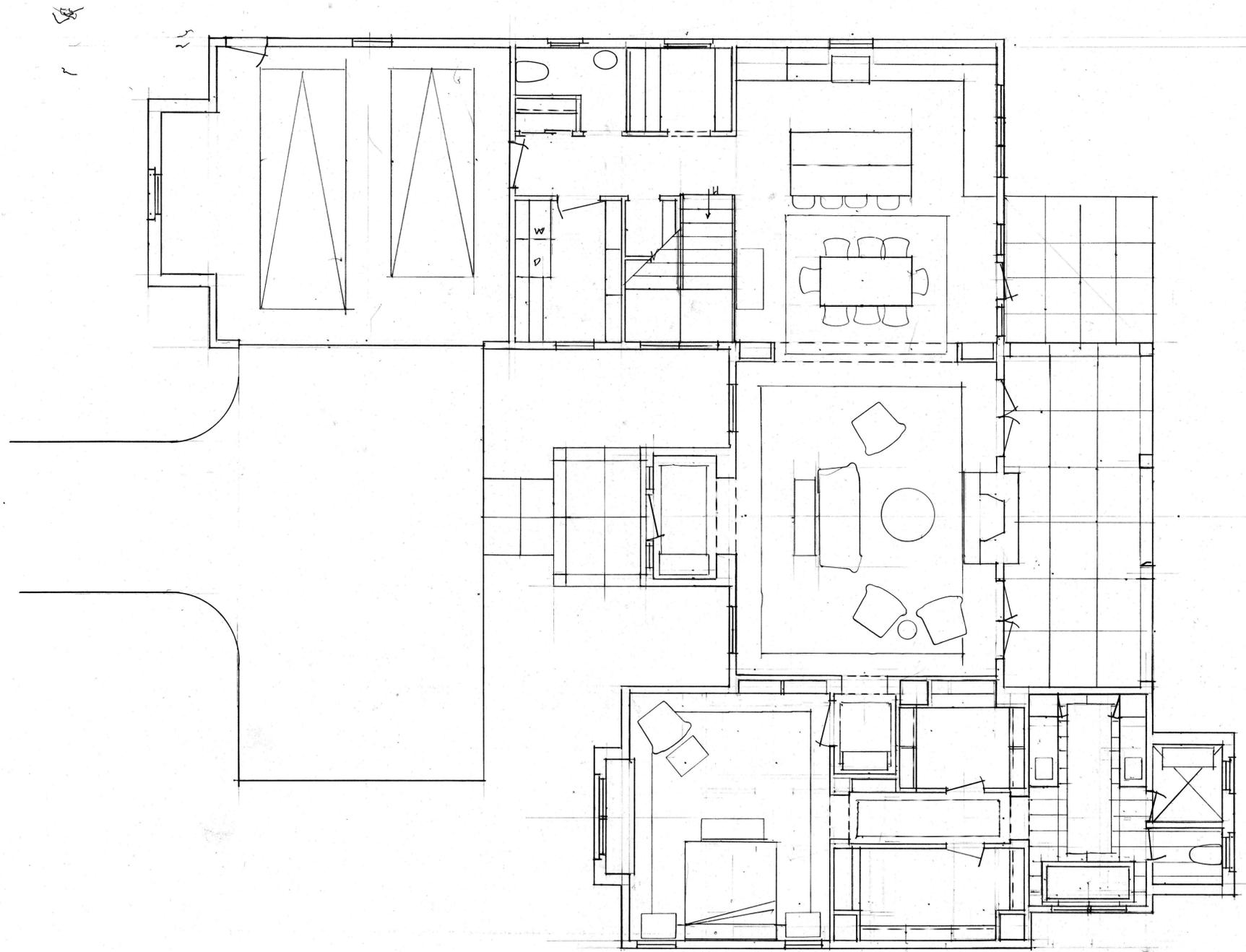


COTTAGE 21 ~ WEST ELEVATION 1/4"

Date Job No
 Dwg. By Chk. By
 Revisions
 No. | Date | Description

Laplante
 Associates
 Architecture
 Interior Architecture
 Kiawah Island, SC

4.1.21

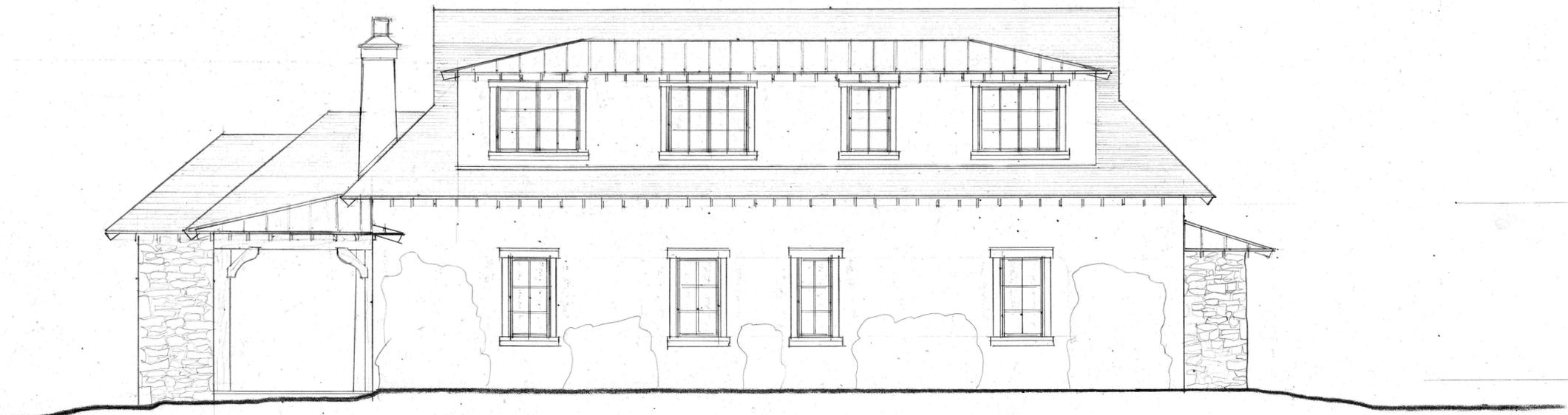


COTTAGE 22 ~ LEVEL ONE PLAN 1/4" = 1'

20/22/17 59
12 9 17 9



COTTAGE 22-NORTH ELEVATION 1/4"

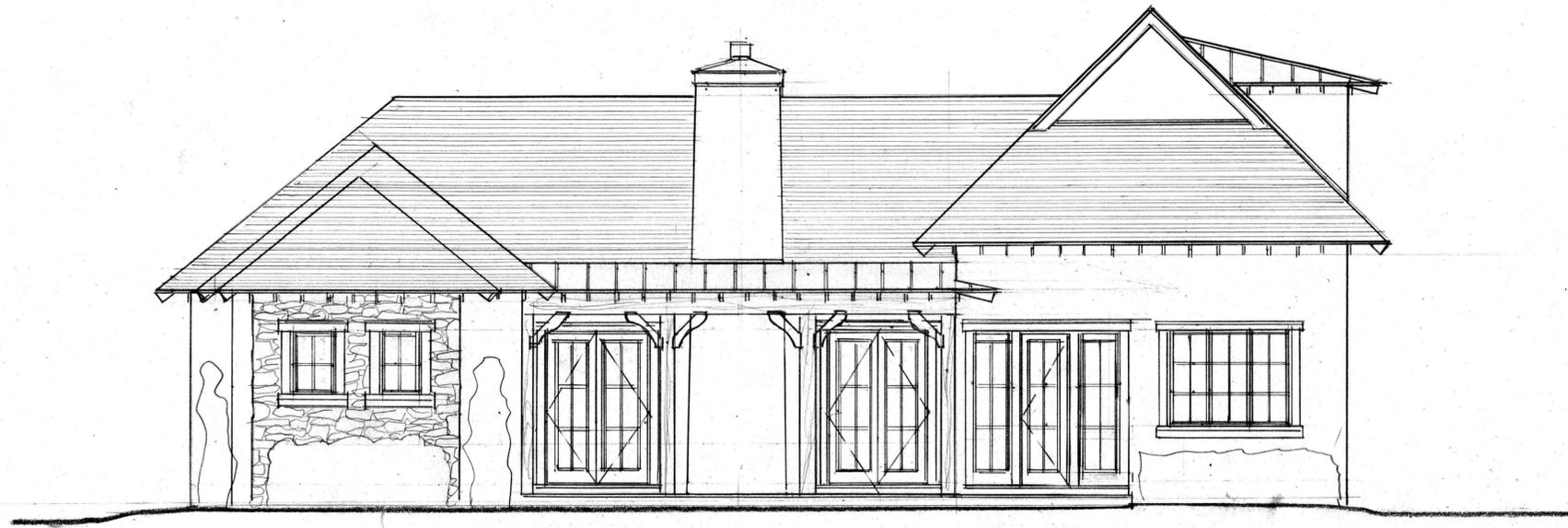


COTTAGE 22-WEST ELEVATION 1/4"

Date	Job No
Dwg. By	Chk. By :
Revisions	
No. Date	Description

Laplante
Associates
Architecture
Interior Architecture
Kiawah Island, SC

4.12)



COTTAGE 22 - SOUTH ELEVATION 1/4"



COTTAGE 22 - EAST ELEVATION 1/4"

Date Job No

Dwg. By Chk. By

Revisions

No.	Date	Description

Laplante
Associates

Architecture
Interior Architecture

Kiawah Island, SC

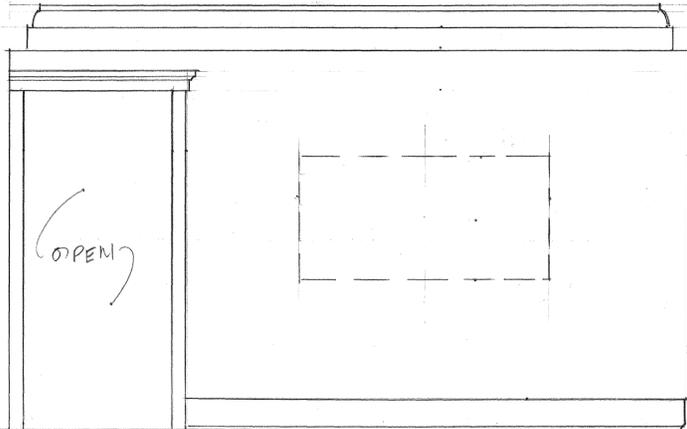


RUSSELL ~ LIVING - S

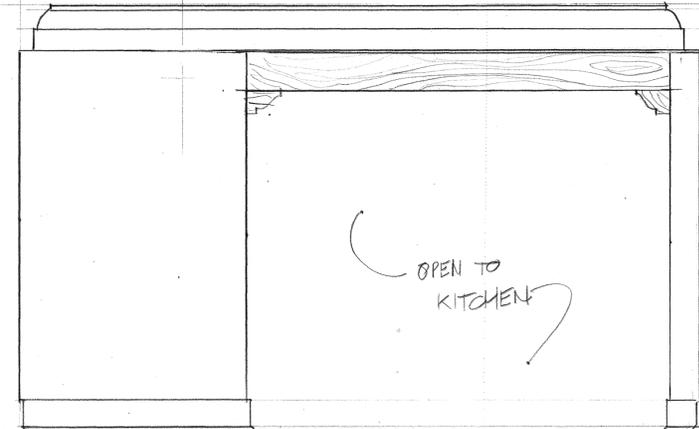
KITCHEN

BAR

1/2"

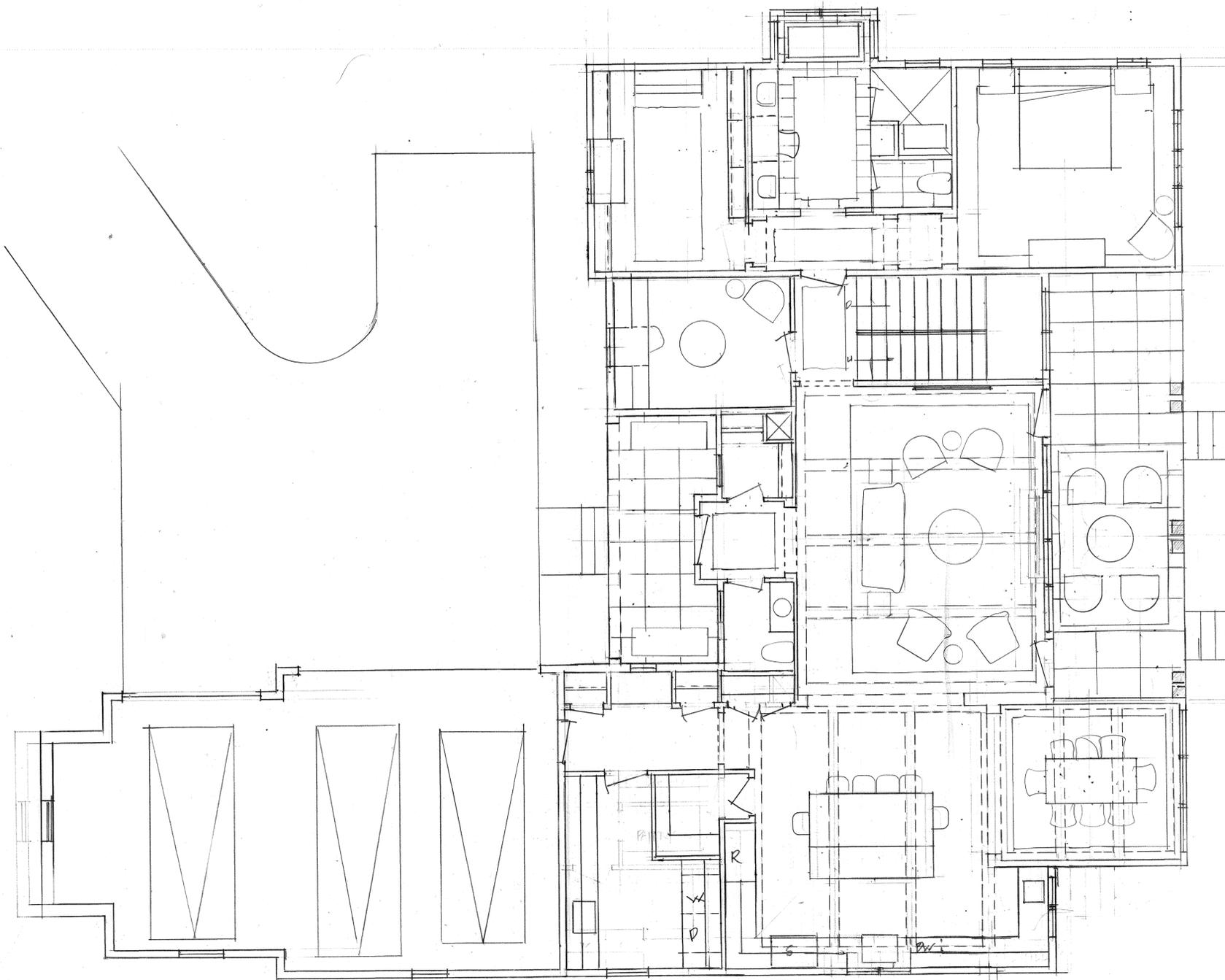


RUSSELL ~ LIVING - E



LIVING - W

1/2"



RUSSELL COTTAGE ~ LEVEL 1 1/4"

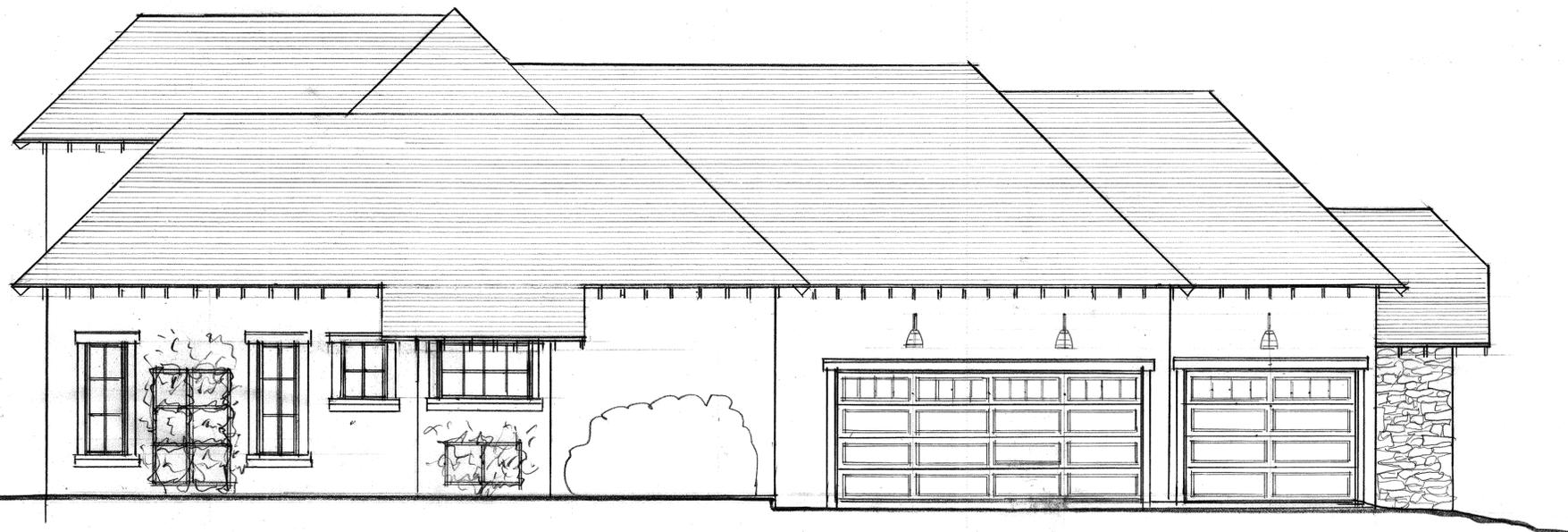
1834# 12/14/20
 LL = 1100 + 5 = 550
 1 = 1834
 2 = 1083 + 5 = 540
 2924

Date	Job No
Dwg. By	Chk. By
Revisions	
No.	Date Description

Laplante
 Associates
 Architecture
 Interior Architecture
 Kiawah Island, SC



RUSSELL COTTAGE ~ SIDE 1/4"



RUSSELL COTTAGE ~ SIDE 1/4"

Date Job No
 Dwg. By Chk. By
 Revisions
 No. | Date | Description

Laplante
 Associates
 Architecture
 Interior Architecture
 Kiawah Island, SC



WATSON © 21

From: Dunn, Bradley A <Bradley.Dunn@worthington.org>
Sent: Thursday, December 2, 2021 11:11 AM
To: Curtis Echelberry
Cc: Zambito, Mark
Subject: RE: [EXTERNAL] The Cottages at Brookside
Attachments: Ladder 101 Design Specifications.docx; OFC Appendix C.pdf

Mr. Echelberry,

Thank you for the inquiry regarding the proposed site development within Perry Township (Brookside Golf & Country Club). Below you will find comments related to the travel path. General comments concerning water supply have also been included for your review.

- Fire department access roads must have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches (OFC 503.2.1).
- Fire department access roads must be designed and maintained to support the imposed loads of fire apparatus (OFC 503.2.3).
- Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. A travel path exhibit demonstrating unobstructed access must be provided. The provided plan did not appear to include vehicle specifications. Specifications for Ladder 101 have been attached for your review (OFC 503.4).
- Please note that where a newly constructed building within the jurisdiction is more than 400 feet from a hydrant, as measured by an approved route around the exterior of the building, on-site fire hydrants shall be provided (OFC 507.5.1, OFC 102.5).
- Please note that an approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which buildings are constructed within the jurisdiction (OFC 507.1).
- Fire flow requirements for buildings shall be determined by an approved method. Please note that OFC Appendix C will be accepted as an approved method. Appendix C has been included for your review (OFC 507.3).

Please feel free to contact me if you have any questions moving forward.

Respectfully,

Lt. Brad Dunn
City of Worthington Division of Fire & EMS
6500 N. High Street
Worthington, OH 43085
614-885-7640

From: Curtis Echelberry <cechelberry@advancedcivildesign.com>
Sent: Wednesday, December 1, 2021 3:10 PM
To: Dunn, Bradley A <Bradley.Dunn@worthington.org>
Subject: [EXTERNAL] The Cottages at Brookside



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Good afternoon. I am working on a new development along the south side of the Brookside Golf & Country Club at the end Of Greenvale Drive. Can I get your department to review the attached turning template and provide feedback? This will be a private condo site with 22 proposed single family residential units.

If you have any questions or need any additional information please let me know.

Thanks,

Curtis Echelberry

Advanced Civil Design

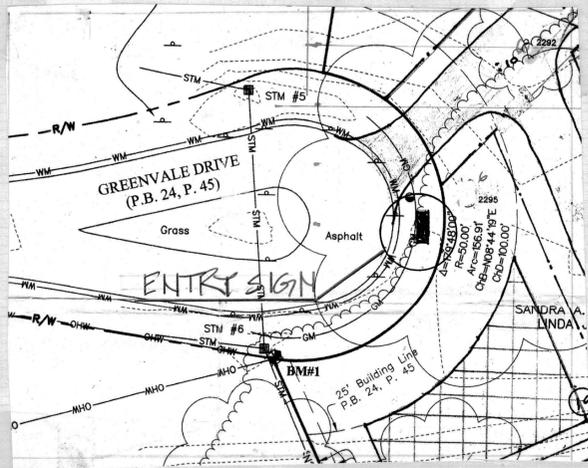
781 Science Boulevard, Suite 100

Gahanna, OH 43230

Phone: 614.428.7750

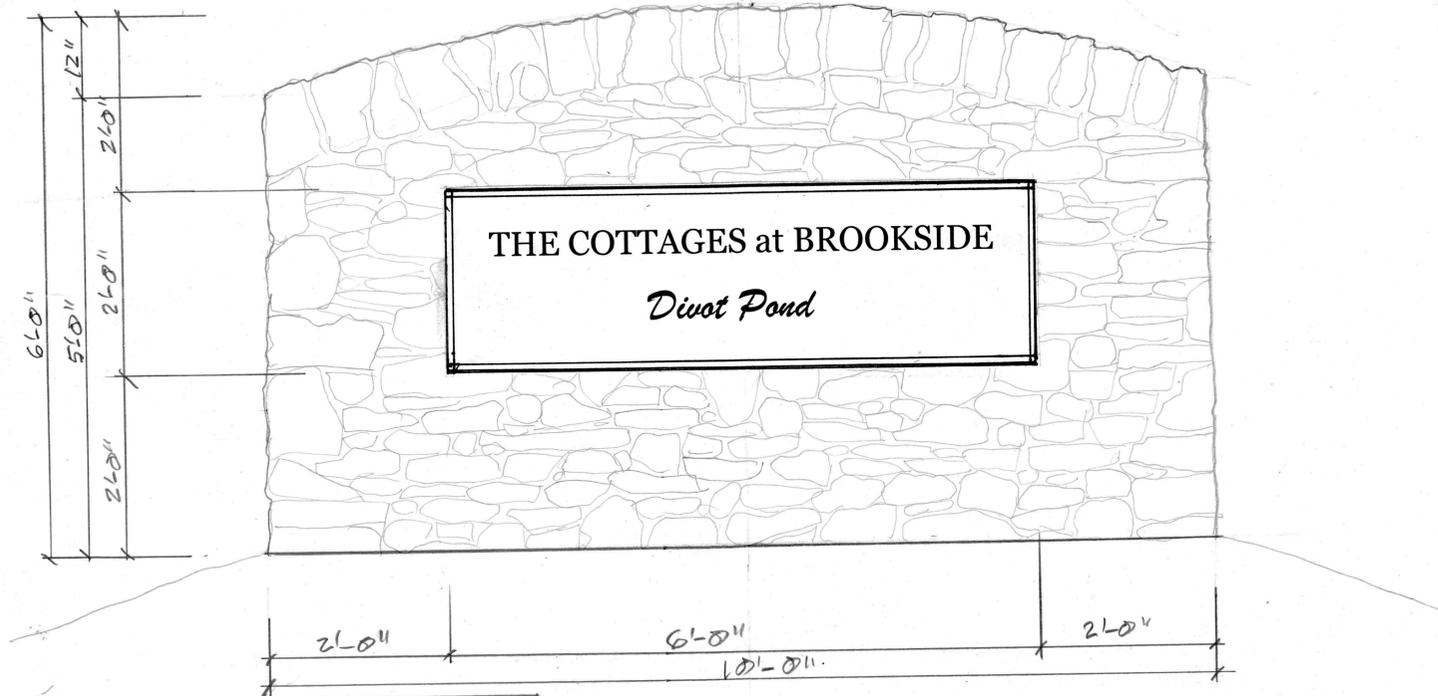
Direct: 614.944.5086

Fax: 614.428.7755



LOCATOR MAP

1"=30'



- SPEC
- 12" X 36" X 1/4" REINFC CONC FTG.
 - SOLID FILLER & REINFC 12" CMU
 - STONE VENEER
 - CAST BRONZE SIGN

ENTRY SIGN ELEVATION

- PROPERTY LINE
- EDGE OF STREET
- 6'-0" EVERGREENS

- SIGN 18" X 10' X 6'
- ENGLISH IVY @ 20" O.C. EX.

- 3 UPLITES

- EARTH BERM SLOPE UP TO SIGN 3'-0"
- COMPACTED (4" X 14" @ SIGN)

LANDSCAPE/LIGHTING/SITE PLAN

1/4"

THE COTTAGES @ BROOKSIDE
ENTRY SIGN

1/21/11

LAPLANTE ASSOC.

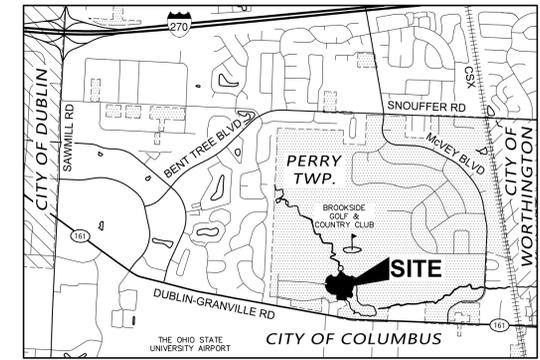
ZONING CONDITIONS

1. ANY ZONING CODE NOT ADDRESSED HEREIN SHALL DEFAULT TO THE PERRY TOWNSHIP ZONING RESOLUTION 4835-0802-3256, BROOKSIDE PLANNED OVERLAY DISTRICT "BP0D".
2. A LANDSCAPE PLAN WILL BE FURNISHED TO THE TOWNSHIP ZONING WITH EACH PLOT PLAN. ALL PERIMETER SETBACK AREAS ARE TO BE TREATED AS PRESERVATION ZONES THAT ARE NOT TO BE CLEARED UNLESS THE HOMEOWNER'S ASSOCIATION HAS DEEMED TREES TO BE DEAD OR PLANT MATERIAL TO BE INVASIVE REQUIRING REMOVAL AND REPLACEMENT. ANY CLEARING OF TREES OR GROUND COVER BY RESIDENTS WITHOUT WRITTEN APPROVAL BY THE HOMEOWNER'S ASSOCIATION SHALL BE REPLACED BY THE HOMEOWNER WITH NATIVE MATERIALS.
3. SECTION 448.06 (3)(W) THE INTENT FOR THE DEVELOPMENT IS TO KEEP OPEN SPACE AS NATURAL AS POSSIBLE WITH INFILL OF TREES ALONG PERIMETER SETBACK AREAS TO CREATE A MINIMUM 80% PERIMETER SCREENING.
4. SECTION 448.07 (5)(B)(i) - BUILDING HEIGHT (SINGLE FAMILY DWELLINGS) SINGLE FAMILY DWELLING UNITS SHALL NOT EXCEED TWO (2) STORIES AS MEASURED FROM THE ELEVATION OF THE PAVED ROAD IN FRONT OF THE STRUCTURE, AND SHALL NOT EXCEED THIRTY-EIGHT FEET (38 FT.) IN HEIGHT. CHIMNEYS, FLAGPOLES, PARAPETS, CUPOLAS AND OTHER SIMILAR ARCHITECTURAL ELEMENTS AND DESIGN ENHANCEMENTS MAY NOT EXCEED THESE HEIGHT LIMITATIONS BY MORE THAN EIGHT FEET (8 FT.).
5. DEVELOPMENT CONSTRUCTION SHALL FOLLOW THE PERRY TOWNSHIP LIMITED HOME RESOLUTION NO. 141-13, THE OPERATION OF POWER EQUIPMENT, INCLUDING THE USE OF POWER MOWERS, TRIMMERS, CHAIN SAWS, TILLERS OR OTHER SIMILAR DEVICES DURING THE HOURS OF 7:00 AM TO 11:00 PM.

ZONING DIVERGENCES

1. SECTION 448.06 (2)(C) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO ALLOW THE DEVELOPMENT TO MAINTAIN THE EXISTING NATURAL LANDSCAPE WITH SOME ADDITIONAL PERIMETER SCREENING IN EXISTING OPEN AREAS IN THE NATURAL PERIMETER SCREENING.
2. SECTION 448.06 (2)(E) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO ALLOW THE REQUIRED SUBMITTAL OF PRELIMINARY HOMES TO HAVE A MINIMUM TWO CAR GARAGE AND DRIVEWAY BIG ENOUGH FOR THIRD CAR PARKING. THE MAILBOX KIOSK DETAILED PLAN SHOWS PARKING FOR RESIDENTS TO ACCESS THE MAILBOXES.
3. SECTION 448.06 (3)(L) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF LAYOUT, LOCATION, DIMENSIONS AND ARCHITECTURAL FEATURES OF PROPOSED STRUCTURES. A SAMPLE FLOOR PLAN AND EXTERIOR ELEVATION WILL BE SUBMITTED FOR REFERENCE AS THESE ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE REQUIRED LAYOUT, LOCATION, TREE PRESERVATION PLAN (WITH OVERLAY OF PROPOSED IMPROVEMENTS) DIMENSIONS AND ARCHITECTURAL FEATURES OF PROPOSED STRUCTURES FOR APPROVAL BY 2 OF 4 FOLLOWING ZONING LIAISON, TRUSTEE, DEVELOPMENT DIRECTOR, CODE ENFORCEMENT OFFICER AND/OR MEMBER OF PLANNING COMMISSION.
4. SECTION 448.06 (3)(M) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO WAIVE REQUIREMENT FOR SITE SPECIFIC LOT COVERAGE. AS THESE ARE CUSTOM HOMES AND NOT DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD, AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE PLOT PLAN WITH SPECIFIC LOT COVERAGE.
5. SECTION 448.06 (3)(S) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF PRELIMINARY DRAWINGS FOR BUILDINGS TO BE CONSTRUCTED. INCLUDING FLOOR PLANS, EXTERIOR ELEVATIONS AND SECTIONS, A SAMPLE FLOOR PLAN AND EXTERIOR ELEVATION WILL BE SUBMITTED FOR REFERENCE AS THESE ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE REQUIRED FLOOR PLAN, EXTERIOR ELEVATIONS AND SECTIONS FOR APPROVAL.
6. SECTION 448.06 (3)(T) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF COLOR RENDERINGS OF BUILDINGS. COMPLETE WITH A LISTING OF ALL COLORS ALONG WITH THE MANUFACTURER'S REFERENCE/SERIAL NUMBER WITH SAMPLES AND MATERIALS TO BE USED. SEE COLOR RENDERINGS OF COTTAGES 20, 21, 22 AND 23 AS SUBMITTED FOR REFERENCE.
7. SECTION 448.06 (3)(U) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF BUILDING LOCATIONS DEPICTING THE BULK, HEIGHT AND SPATIAL RELATIONSHIPS OF BUILDING MASSES WITH ADJACENT DEVELOPMENT. THIS REQUIREMENT IS NOT APPLICABLE TO THIS DEVELOPMENT. DISTANCE OF EXISTING HOMES TO PLANNED IS FAR IN EXCESS OF INTENT.
8. SECTION 448.06 (3)(Z) - APPLICATION AND DEVELOPMENT PLAN DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF EXTERIOR LIGHTING PLAN. DEVELOPMENT IS INTENDED TO MINIMIZE THE IMPACT TO THE EXISTING NATURAL FEATURES, NO SITE LIGHTING IS PROPOSED TO MINIMIZE THE IMPACT.
9. SECTION 448.07 (4) - DESIGN STANDARDS DIVERGENCE TO ALLOW SINGLE FAMILY DWELLING UNITS TO BE BUILT WITHIN SIX FEET (6 FT.) OF THE GOLF COURSE PROPERTY LINE. THE REDUCED SETBACK/BUFFER ALLOWS FOR MORE FLEXIBILITY IN DESIGN WHICH WILL ALLOW MORE TREES & NATURAL HABITAT TO BE SAVED.
10. SECTION 448.07 (4) - DESIGN STANDARDS DIVERGENCE TO ALLOW SINGLE FAMILY DWELLING UNITS TO BE BUILT WITHIN TWENTY FEET (20 FT.) FROM ADJACENT EXISTING RESIDENTIAL PROPERTIES NOT LOCATED WITHIN THE "BP0D". DISTANCE OF EXISTING HOMES TO PLANNED IS FAR IN EXCESS OF INTENT AND WILL FURTHER ALLOW FOR REDUCE SETBACK/BUFFER TO ALLOW MORE FLEXIBILITY IN DESIGN WHICH WILL ALLOW MORE TREES & NATURAL HABITAT TO BE SAVED.
11. SECTION 448.07 (7) - DESIGN STANDARDS DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF EXTERIOR BUILDING LOT LIGHTING. THESE HOMES ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE APPLICABLE EXTERIOR BUILDING LIGHTING MINIMIZING THE IMPACT TO ADJACENT AREAS.
12. SECTION 448.07 (9) - DESIGN STANDARDS DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF YARD LANDSCAPING. THESE HOMES ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE APPLICABLE YARD LANDSCAPING.
13. SECTION 448.07 (9) - DESIGN STANDARDS DIVERGENCE TO ALLOW THE DEVELOPMENT TO MAINTAIN THE EXISTING NATURAL LANDSCAPE WITHIN THE OPEN AREAS WITH SOME ADDITIONAL PERIMETER SCREENING IN EXISTING NATURAL PERIMETER SCREENING TO BE MAINTAINED WITHIN THE BUILDING SETBACKS/PRESERVATION ZONES.
14. SECTION 448.08 (4)(C) - MINIMUM DEVELOPMENT STANDARDS DIVERGENCE TO ALLOW SIX FEET REAR YARDS ON LOTS ABUTTING GOLF COURSE OPEN SPACE, INCLUDING THE GOLF COURSE LAKE. THE REDUCED SETBACK/BUFFER ALLOWS FOR MORE FLEXIBILITY IN DESIGN WHICH WILL ALLOW MORE TREES & NATURAL HABITAT TO BE SAVED.
15. SECTION 448.08 (5)(C) - MINIMUM DEVELOPMENT STANDARDS DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF BUILDING DIMENSIONS. THESE HOMES ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE APPLICABLE BUILDING DIMENSIONS MEETING SECTION 448.07.6.
16. SECTION 448.08 (6)(iii) - MINIMUM DEVELOPMENT STANDARDS DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF FACADE APPEARANCE. THESE HOMES ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE APPLICABLE BUILDING FACADE APPEARANCE.
17. SECTION 448.08 (7) - MINIMUM DEVELOPMENT STANDARDS DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF EXTERIOR BUILDING LOT LIGHTING. THESE HOMES ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE APPLICABLE EXTERIOR BUILDING LIGHTING MINIMIZING THE IMPACT TO ADJACENT AREAS.
18. SECTION 448.08 (9) - MINIMUM DEVELOPMENT STANDARDS DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF YARD LANDSCAPING. THESE HOMES ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE APPLICABLE YARD LANDSCAPING.
19. SECTION 448.08 (10)(C)&(E) - MINIMUM DEVELOPMENT STANDARDS DIVERGENCE TO WAIVE THE REQUIRED SUBMITTAL OF DRIVEWAY LOCATIONS. THESE HOMES ARE CUSTOM HOMES AND NOT ALL FULLY DESIGNED YET BY THE ARCHITECT UNTIL EACH HOMEOWNER BUYS THE PAD. AS EACH HOME IS DESIGNED THE ARCHITECT SHALL SUBMIT TO THE TOWNSHIP ZONING THE APPLICABLE LOT SITE PLAN WITH DRIVEWAY LOCATIONS.

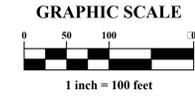
FINAL DEVELOPMENT PLAN FOR THE COTTAGES AT BROOKSIDE PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 19, USML 2022



LOCATION MAP
NOT TO SCALE

SHEET INDEX

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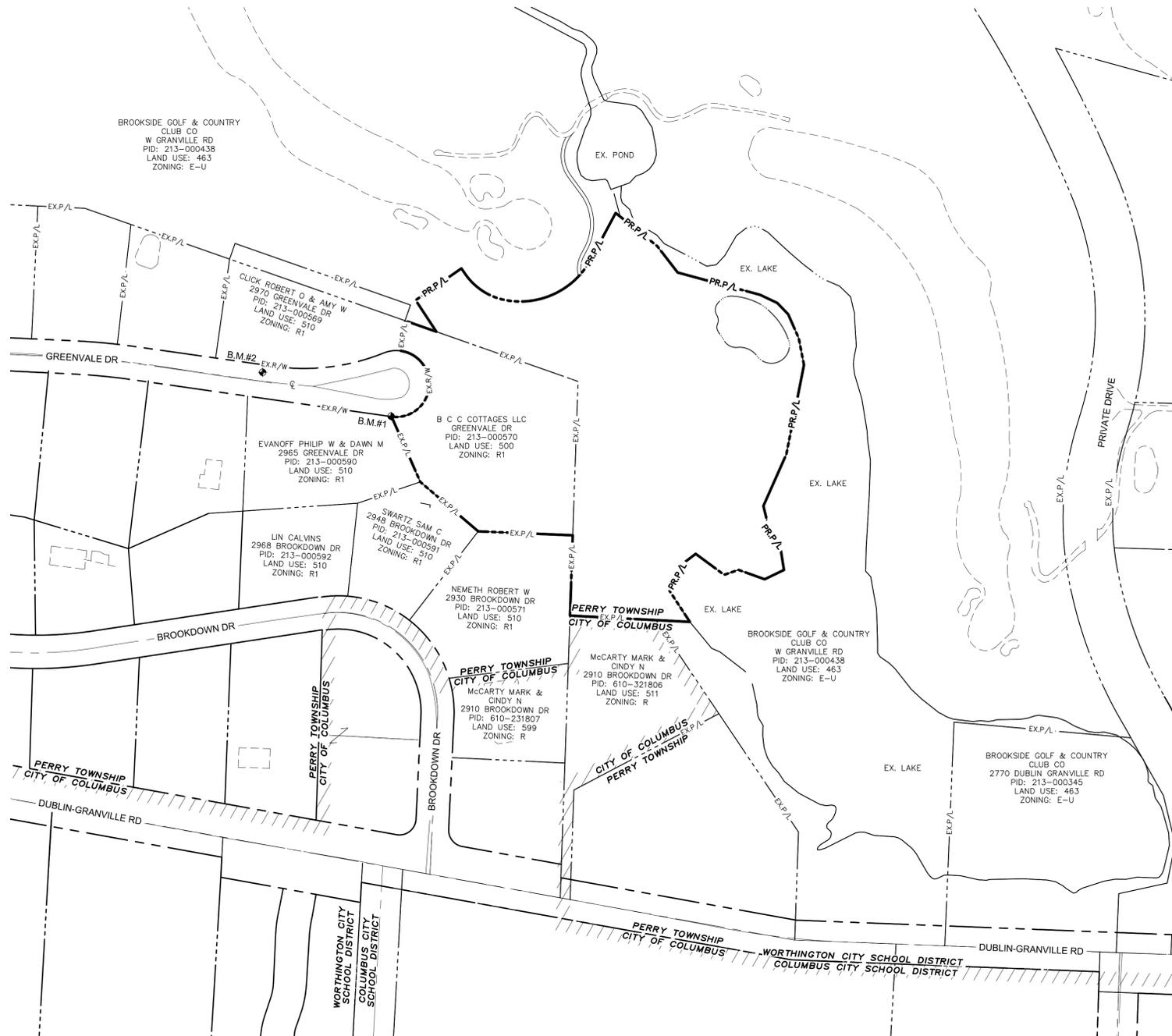


OWNER/DEVELOPER
B C C COTTAGES LLC
151 TREEDUCK CT
KIAWAH ISLAND, SOUTH CAROLINA 29455

ENGINEER

ADVANCED CIVIL DESIGN, INC.
781 SCIENCE BOULEVARD, SUITE 100
GAHANNA, OHIO 43230
PHONE: 614-428-7750
THOMAS M. WARNER, P.E.
T.WARNER@ADVANCEDCIVILDESIGN.COM

OHIO Utilities Protection SERVICE
Call Before You Dig
800-362-2764 or 811
www.oups.org



WE, THE LAND OWNERS ACCOUNT FOR ALL THE LAND BEING DISTURBED OR DEVELOPED WITH THIS PLAN SUBMISSION, HEREBY APPROVE THESE PLANS.

LAND OWNER - Mitch Laplante 3/16/22 DATE
 LAND OWNER - Andy C. August 3/16/22 DATE

BENCH MARKS	
BASED ON NAVD 1988 DATUM.	
SOURCE	ELEVATIONS
SITE B.M.#1	RAILROAD SPIKE SET ON THE NORTH SIDE OF A WOODEN UTILITY POLE LOCATED ON THE SOUTH SIDE OF THE GREENVALE DRIVE CUL-DE-SAC, AT THE NORTHEAST CORNER OF RESIDENCE #2965. SHOWN ON INDEX MAP AS B.M.#1 Elev.=883.65
SITE B.M.#2	EAST SIDE OF TOP FLANGE OF FIRE HYDRANT ALONG THE NORTH SIDE OF GREENVALE DRIVE APPROXIMATELY 74' EAST OF THE SOUTHWESTERN PROPERTY CORNER OF RESIDENCE #2970. SHOWN ON INDEX MAP AS B.M.#2 Elev.=886.68

INDEX MAP
SCALE: 1" = 100'

FLOODPLAIN

THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) SHOWS THAT THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA DESIGNATED AS ZONE X. ZONE X IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM); FRANKLIN COUNTY, OHIO, MAP NOS. 39049C0154K, EFFECTIVE DATE (JUNE 17, 2008). ACCORDING TO MAP INDEX NO. 39049C01D1, (DATED JUNE 16, 2011), THE PANEL WAS NOT PRINTED AS IT CONTAINS NO SPECIAL FLOOD HAZARD AREAS.

PREPARED BY:



David D. Deniston 51816 3/15/2022
REGISTERED ENGINEER NUMBER DATE

PLAN PREPARED BY:
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
PH: 614-428-7750
FAX: 614-428-7750
ADVANCED CIVIL DESIGN ENGINEERS & SURVEYORS

PLAN PREPARED FOR:
B C C COTTAGES LLC
151 TREEDUCK CT
KIAWAH ISLAND, SC 29455
ATTN: MITCH LAPLANTE
SCMITCH@BELLSOUTH.NET

PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN FOR
THE COTTAGES AT BROOKSIDE
FOR
B C C COTTAGES LLC
TITLE SHEET

Revision	Approved
No.	Date

PRELIMINARY NOT FOR CONSTRUCTION

Date: 03/15/2022
Scale: AS NOTED

Drawn By: CLE
Checked By: CLE

Project Number:
20-0011-642

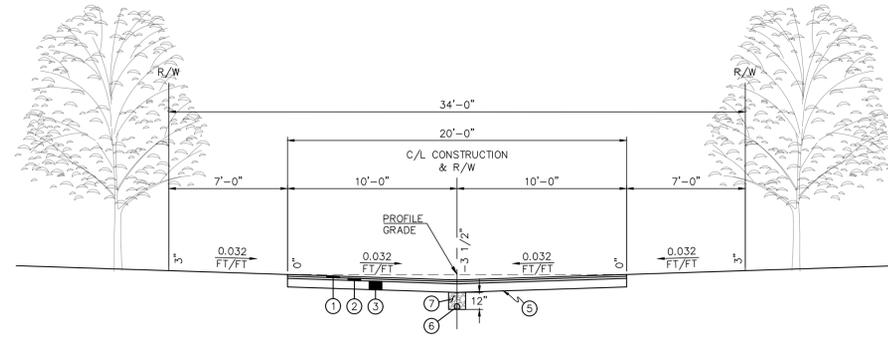
Drawing Number:
117

NOTES

1. ALL ITEM NUMBERS REFER TO CURRENT ODOT SPECIFICATIONS

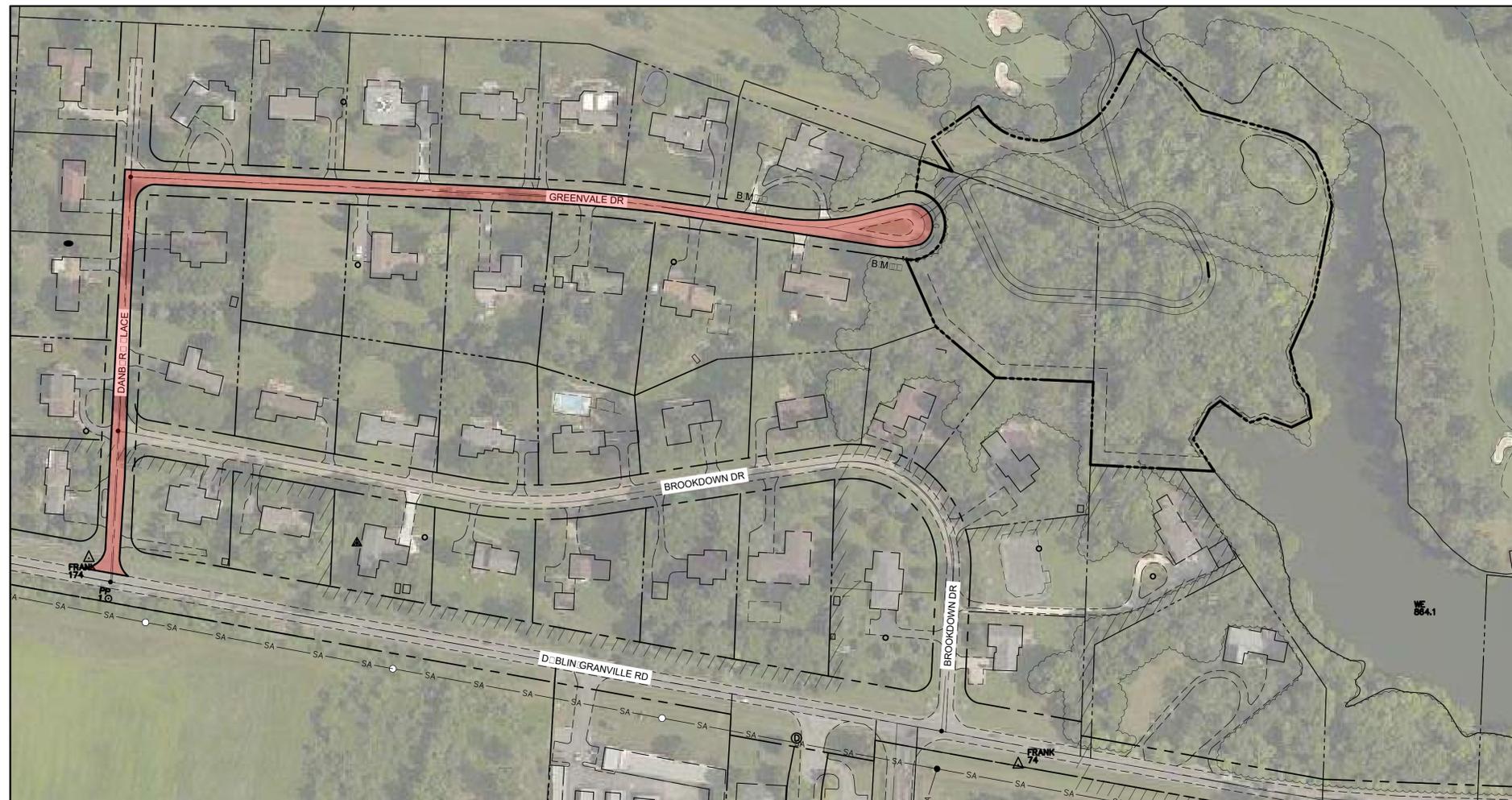
LEGEND:

- ① 1-1/4" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, ITEM 441 (448)
- ② 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, ITEM 441 (448)
- ③ 6" ROLLER COMPACTED CONCRETE, ITEM 307
- ④ SUBGRADE COMPACTION, ITEM 204
- ⑤ 4" PIPE UNDERDRAIN, ITEM 605
- ⑥ NO.8 OR NO.57 AGGREGATE (PRICE TO BE INCLUDED IN THE PRICE BID FOR 4" PIPE UNDERDRAIN.)



TYPICAL PRIVATE ROAD PAVEMENT SECTION R/W
No Scale

NOTE: SITE IS BEING DEVELOPED AS CONDOMINIUMS, THEREFORE THE ROADWAYS ARE PRIVATE AND DO NOT REQUIRE RIGHT-OF-WAY (R/W), PRIVATE ROADWAY TO BE OWNED AND MAINTAINED BY THE COTTAGES AT BROOKSIDE CONDOMINIUM ASSOCIATION. RIGHT-OF-WAY IS SHOWN HEREIN FOR REFERENCE TO SHOW COMPLIANCE WITH THE REQUIREMENTS OF THE PERRY TOWNSHIP ZONING RESOLUTION 154-RZ-21, BROOKSIDE PLANNED OVERLAY DISTRICT "BP0D".



CONSTRUCTION TRAFFIC ROUTING CONDITIONS

- SECTION 448.06 (3)(V) - APPLICATION AND DEVELOPMENT PLAN THE APPLICANT SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO TOWNSHIP ROADS DURING CONSTRUCTION AND MAY BE REQUIRED BY THE ZONING COMMISSION TO POST AN APPROXIMATE BOND TO COVER SUCH COSTS. THE DEVELOPER AND CONTRACTOR SHALL COORDINATE AN ONSITE MEETING AND WALK THROUGH OF THE CONSTRUCTION TRAFFIC ROUTE AND ACCESS TO THE SITE WITH THE TOWNSHIP PRIOR TO CONSTRUCTION TO VERIFY CONDITIONS OF THE TOWNSHIP ROADS PRIOR TO CONSTRUCTION TRAFFIC.
- THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MONITORING CONSTRUCTION TRAFFIC FROM THE SITE AND PROVIDING THE NECESSARY STREET CLEANING PRACTICES TO KEEP THE CONSTRUCTION TRAFFIC ROUTE FREE AND CLEAR OF DEBRIS FROM CONSTRUCTION ACTIVITIES ON SITE. SHOULD THE TOWNSHIP PERFORM STREET CLEANING ALONG THE CONSTRUCTION TRAFFIC ROUTE DUE TO COMPLAINTS FROM EXISTING RESIDENTS ALONG THE CONSTRUCTION TRAFFIC ROUTE, THE DEVELOPER/CONTRACTOR SHALL REIMBURSE THE TOWNSHIP THE COST OF SUCH ACTIVITIES.

CONTACT: EMRE SCARLATA
(415) 794-1836
EMRESCARLATA@GMAIL.COM

CONSTRUCTION TRAFFIC ROUTE AND ACCESS TO SITE

SCALE: 1" = 100'

LEGEND

CONSTRUCTION TRAFFIC ROUTE

PRELIMINARY NOT FOR CONSTRUCTION

No.	Revision	Date	Approved

Date: 03/15/2022
Scale: AS NOTED
Drawn By: CLE
Checked By:

Project Number:
20-0011-642

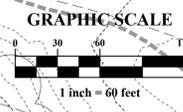
Drawing Number:
2 / 7

PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN FOR THE COTTAGES AT BROOKSIDE FOR B C C COTTAGES LLC

PLAN PREPARED FOR:
B C C COTTAGES LLC
151 TREDWICK CT
KIWAH ISLAND, SC 29465
ATTN: MITCH LAPLANTE
SMITTC@BELLSOUTH.NET

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
PH: 614.428.7750
FW: 614.428.7755

Z:\20-0011-642\DWG\production drawings\PRE DEVELOPMENT PLAN\Preliminary Existing Conditions Plan.dwg 3 EXISTING CONDITIONS PLAN Mar 15, 2022 - 1:56:07pm ceshelberry



- LEGEND**
- 875 ----- EXISTING MAJOR CONTOUR
 - 876 ----- EXISTING MINOR CONTOUR
 - ===== EXISTING SOILS LINE
 - G ----- EXISTING GAS LINE
 - X ----- EXISTING FENCE
 - WA ----- EXISTING WATER MAIN
 - ST ----- EXISTING STORM SEWER
 - C ----- EXISTING CATCH BASIN
 - M ----- EXISTING MANHOLE
 - V ----- EXISTING VALVE
 - H ----- EXISTING HYDRANT

SOIL MAP UNIT LEGEND	
SYMBOL	SOIL NAME
CeC2	Celina silt loam, 6 to 12 percent slopes
CsB	Crosby-Urban land complex, 2 to 6 percent slopes

(TR) = TO REMAIN
 (TBR) = TO BE REMOVED
 (TBR) = TO BE RELOCATED
 GPP = GROUNDWATER POLLUTION POTENTIAL

PORTION OF EXISTING STORM SEWER EASEMENT (VOL. 3633, PG. 296) TO BE VACATED AND RE-ESTABLISHED

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 PH: 614.428.7750
 FAX: 614.428.7755

PLAN PREPARED FOR:
B C COTTAGES LLC
 151 TREDLUCK CT
 KIAMAH ISLAND, SC 29465
 ATTN: MITCH LAPLANTE
 SCMITCH@BELLSOUTH.NET

PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN FOR THE COTTAGES AT BROOKSIDE
FOR
B C COTTAGES LLC
EXISTING CONDITIONS PLAN

Date	Approved
Revision	
PRELIMINARY NOT FOR CONSTRUCTION	
Date:	03/15/2022
Scale:	1" = 60'
Drawn By:	CLE
Checked By:	
Project Number:	20-0011-642
Drawing Number:	3 / 7

NOTE
FOUNDATION OF ENTRY SIGN AND ALL CONSTRUCTION OF SAID SIGN SHALL BE OUTSIDE OF THE RIGHT-OF-WAY.



NOTE
SHOULD THE HOME OWNER'S ASSOCIATION NOT MAINTAIN THE STORMWATER MANAGEMENT SYSTEM, THE COUNTY HAS THE RIGHT TO ENTER THE PROPERTY FOR EMERGENCY MAINTENANCE OF SAID FACILITIES AND CHARGE THE HOME OWNER'S ASSOCIATION FOR SAID REPAIRS.

LEGEND

- BUILDABLE AREA, SHOWN FOR REFERENCE IN COMPLIANCE WITH ZONING TEXT. ACTUAL HOUSE SIZE/LOCATION IS SUBJECT TO CHANGE BASED ON FINAL CUSTOM HOME DESIGN. EACH HOME DESIGN SHALL SUBMIT A PLOT PLAN TO THE TOWNSHIP SHOWING COMPLIANCE WITH ZONING TEXT.
- RE-ESTABLISHED PORTION OF EXISTING STORM SEWER EASEMENT (VOL. 3633, PG. 296)

LINE TABLE		LINE TABLE			
LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING
L1	143.0'±	N87°36'49"W	L17	6.5'±	S101°6'12"W
L2	114.9'±	N49°38'49"W	L18	130.9'±	S111°4'16"W
L3	107.4'±	N23°52'19"W	L19	85.1'±	S24°02'35"W
L4	45.9'±	N08°04'11"E	L20	46.7'±	S13°42'47"E
L5	50.2'±	S70°43'59"E	L21	24.9'±	S37°17'28"E
L6	56.8'±	N33°25'15"W	L22	31.5'±	S08°53'09"E
L7	84.1'±	S55°17'48"W	L23	32.4'±	S64°23'24"W
L8	10.3'±	S34°42'12"E	L24	42.1'±	N70°21'05"W
L9	78.4'±	N28°11'44"E	L25	22.9'±	S70°51'19"W
L10	80.1'±	S51°37'13"E	L26	53.3'±	N53°39'45"W
L11	50.5'±	S37°50'44"E	L27	18.6'±	S52°49'15"W
L12	129.0'±	S74°54'53"E	L28	50.9'±	S28°56'40"W
L13	28.7'±	S64°42'12"E	L29	55.8'±	S33°18'39"E
L14	23.7'±	S44°14'23"E	L30	181.5'±	N87°01'09"W
L15	39.4'±	S23°53'11"E	L31	120.9'±	N01°58'51"E
L16	40.8'±	S11°08'25"E			

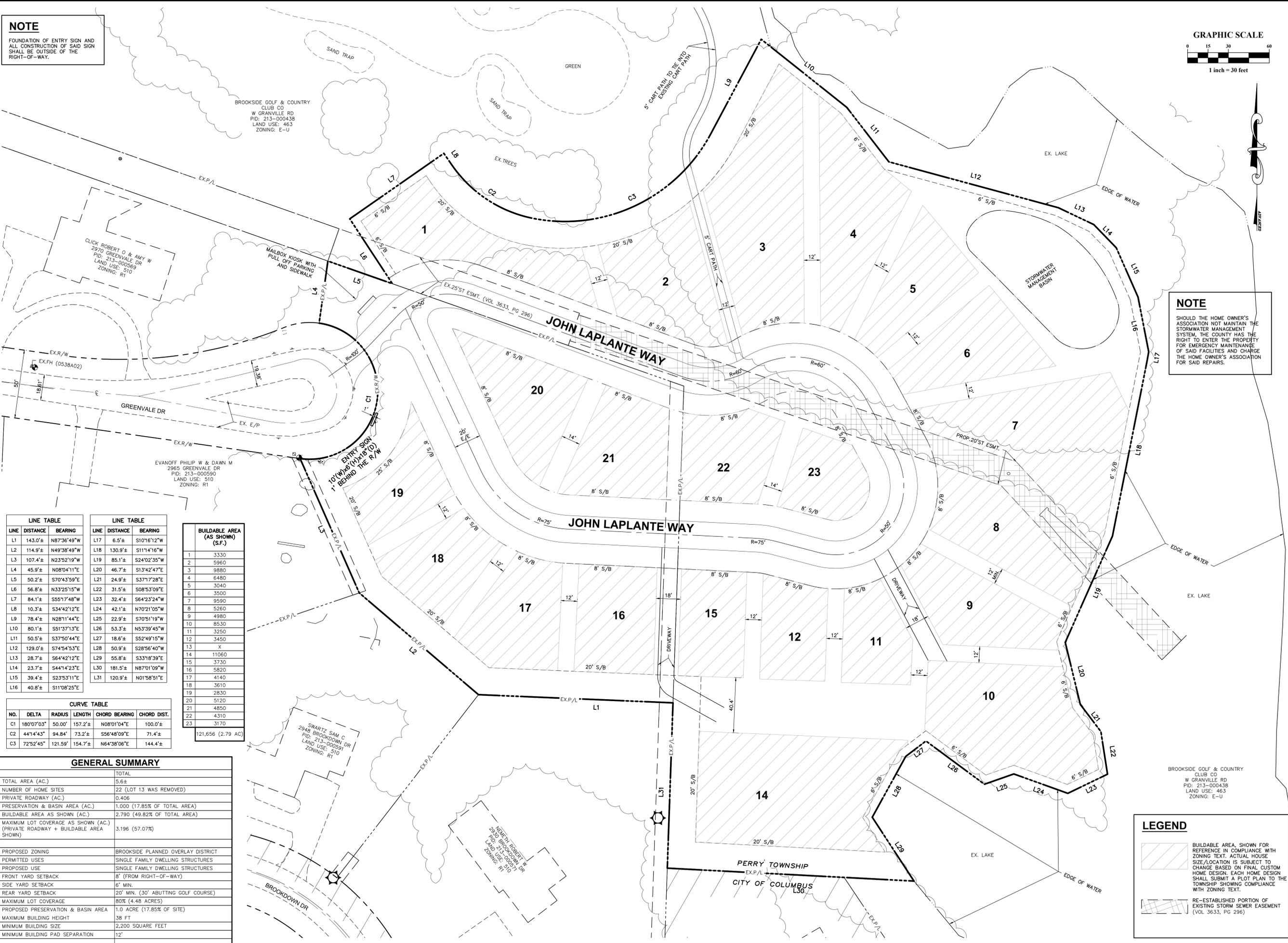
CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	180°07'03"	50.00'	157.2'±	N08°01'04"E	100.0'±
C2	44°14'43"	94.84'	73.2'±	S56°48'09"E	71.4'±
C3	72°52'45"	121.59'	154.7'±	N64°38'08"E	144.4'±

BUILDABLE AREA (AS SHOWN) (S.F.)	
1	3330
2	5960
3	9880
4	6480
5	3040
6	3500
7	9590
8	5260
9	4980
10	8530
11	3250
12	3450
13	X
14	11060
15	3730
16	5820
17	4140
18	3610
19	2830
20	5120
21	4850
22	4310
23	3170

121,656 (2.79 AC)

GENERAL SUMMARY	
TOTAL AREA (AC.)	5.6±
NUMBER OF HOME SITES	22 (LOT 13 WAS REMOVED)
PRIVATE ROADWAY (AC.)	0.406
PRESERVATION & BASIN AREA (AC.)	1.000 (17.85% OF TOTAL AREA)
BUILDABLE AREA AS SHOWN (AC.)	2.790 (49.82% OF TOTAL AREA)
MAXIMUM LOT COVERAGE AS SHOWN (AC.) (PRIVATE ROADWAY + BUILDABLE AREA SHOWN)	3.196 (57.07%)
PROPOSED ZONING	BROOKSIDE PLANNED OVERLAY DISTRICT
PERMITTED USES	SINGLE FAMILY DWELLING STRUCTURES
PROPOSED USE	SINGLE FAMILY DWELLING STRUCTURES
FRONT YARD SETBACK	8' (FROM RIGHT-OF-WAY)
SIDE YARD SETBACK	6' MIN.
REAR YARD SETBACK	20' MIN. (30' ABUTTING GOLF COURSE)
MAXIMUM LOT COVERAGE	80% (4.48 ACRES)
PROPOSED PRESERVATION & BASIN AREA	1.0 ACRE (17.85% OF SITE)
MAXIMUM BUILDING HEIGHT	38 FT
MINIMUM BUILDING SIZE	2,200 SQUARE FEET
MINIMUM BUILDING PAD SEPARATION	12'

Z:\20-0011-642\DWG\production drawings\PRE DEVELOPMENT PLAN\Preliminary Site Plan.dwg SITE PLAN Mar 15, 2022 - 1:56:21pm cecahberry



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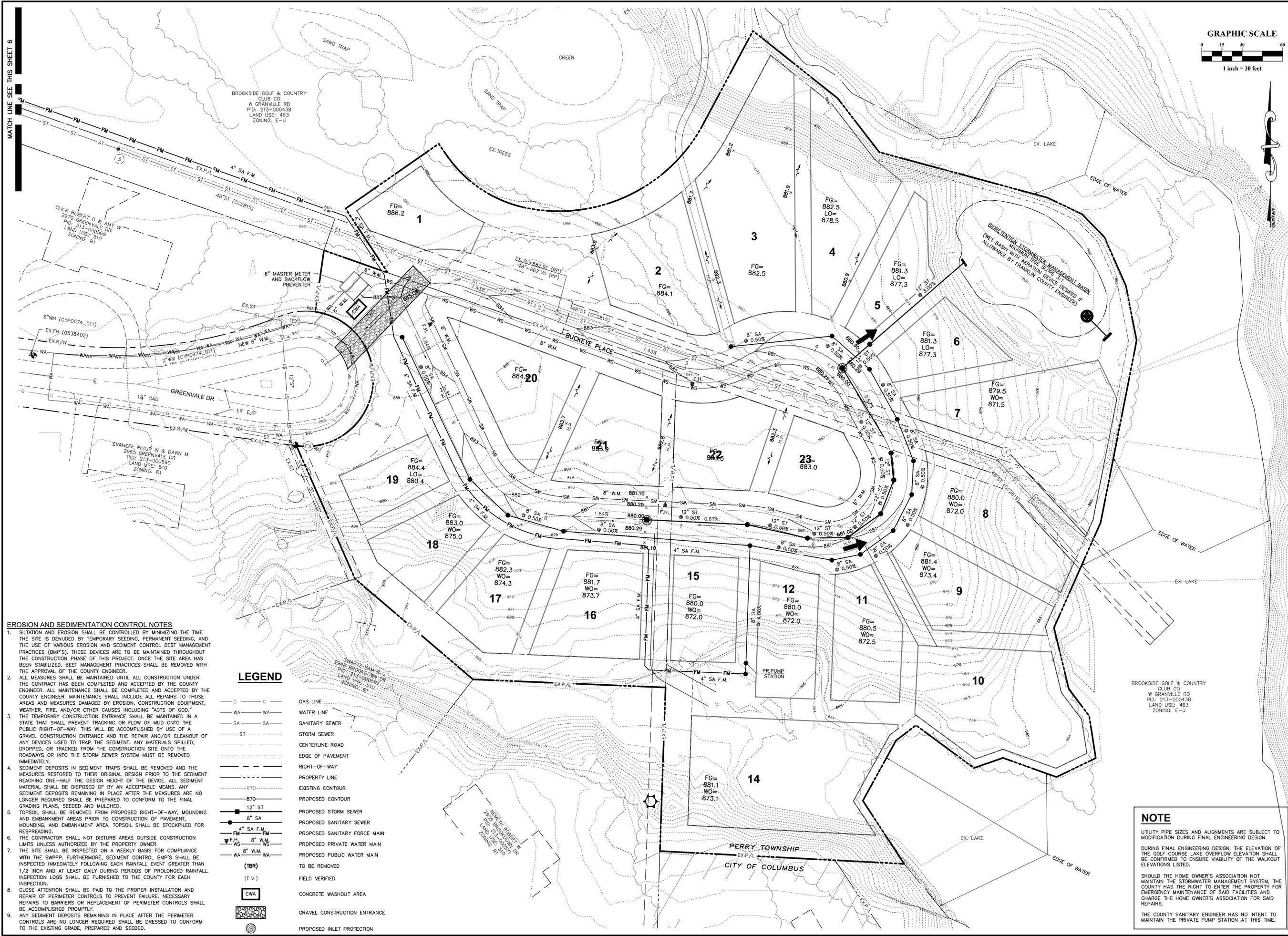
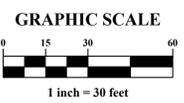
PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN FOR BROOKSIDE COTTAGES FOR BOB WEBB GROUP
SITE PLAN

No.	Revision	Date	Approved

PRELIMINARY NOT FOR CONSTRUCTION

Date: 03/15/2022
 Scale: 1"=30'
 Drawn By: CLE
 Checked By: DDD
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 Drawing Number: 4 / 7

MATCH LINE SEE THIS SHEET 6



- EROSION AND SEDIMENTATION CONTROL NOTES**
- SILTATION AND EROSION SHALL BE CONTROLLED BY MINIMIZING THE TIME THE SITE IS DENuded BY TEMPORARY SEEDING, PERMANENT SEEDING, AND THE USE OF VARIOUS EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S). THESE DEVICES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT. ONCE THE SITE AREA HAS BEEN STABILIZED, BEST MANAGEMENT PRACTICES SHALL BE REMOVED WITH THE APPROVAL OF THE COUNTY ENGINEER.
 - ALL MEASURES SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION UNDER THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED BY THE COUNTY ENGINEER. ALL MAINTENANCE SHALL BE COMPLETED AND ACCEPTED BY THE COUNTY ENGINEER. MAINTENANCE SHALL INCLUDE ALL REPAIRS TO THOSE AREAS AND MEASURES DAMAGED BY EROSION, CONSTRUCTION EQUIPMENT, WEATHER, FIRE, AND/OR OTHER CAUSES INCLUDING "ACTS OF GOD." THE TEMPORARY CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A STATE THAT SHALL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. THIS WILL BE ACCOMPLISHED BY USE OF A GRAVEL CONSTRUCTION ENTRANCE AND THE REPAIR AND/OR CLEANOUT OF ANY DEVICES USED TO TRAP THE SEDIMENT. ANY MATERIALS SPILLED, DROPPED, OR TRACKED FROM THE CONSTRUCTION SITE ONTO THE ROADWAYS OR INTO THE STORM SEWER SYSTEM MUST BE REMOVED IMMEDIATELY.
 - SEDIMENT DEPOSITS IN SEDIMENT TRAPS SHALL BE REMOVED AND THE MEASURES RESTORED TO THEIR ORIGINAL DESIGN PRIOR TO THE SEDIMENT REACHING ONE-HALF THE DESIGN HEIGHT OF THE DEVICE. ALL SEDIMENT MATERIAL SHALL BE DISPOSED OF BY AN ACCEPTABLE MEANS. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE MEASURES ARE NO LONGER REQUIRED SHALL BE PREPARED TO CONFORM TO THE FINAL GRADING PLANS, SEEDED AND MULCHED.
 - TOPSOIL SHALL BE REMOVED FROM PROPOSED RIGHT-OF-WAY, MOUNDING AND EMBANKMENT AREAS PRIOR TO CONSTRUCTION OF PAVEMENT, MOUNDING, AND EMBANKMENT AREA. TOPSOIL SHALL BE STOCKPILED FOR RESPREADING.
 - THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE CONSTRUCTION LIMITS UNLESS AUTHORIZED BY THE PROPERTY OWNER.
 - THE SITE SHALL BE INSPECTED ON A WEEKLY BASIS FOR COMPLIANCE WITH THE SWPPP. FURTHERMORE, SEDIMENT CONTROL BMP'S SHALL BE INSPECTED IMMEDIATELY FOLLOWING EACH RAINFALL EVENT GREATER THAN 1/2 INCH AND AT LEAST DAILY DURING PERIODS OF PROLONGED RAINFALL. INSPECTION LOGS SHALL BE FURNISHED TO THE COUNTY FOR EACH INSPECTION.
 - CLOSE ATTENTION SHALL BE PAID TO THE PROPER INSTALLATION AND REPAIR OF PERIMETER CONTROLS TO PREVENT FAILURE. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF PERIMETER CONTROLS SHALL BE ACCOMPLISHED PROMPTLY.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE PERIMETER CONTROLS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

LEGEND

- G GAS LINE
- WA WATER LINE
- SA SANITARY SEWER
- ST STORM SEWER
- CR CENTERLINE ROAD
- EP EDGE OF PAVEMENT
- ROW RIGHT-OF-WAY
- PL PROPERTY LINE
- EX EXISTING CONTOUR
- PR PROPOSED CONTOUR
- 12" ST PROPOSED STORM SEWER
- 8" SA PROPOSED SANITARY SEWER
- 4" SA F.M. PROPOSED SANITARY FORCE MAIN
- 8" W.M. PROPOSED PRIVATE WATER MAIN
- 8" W.M. PROPOSED PUBLIC WATER MAIN
- (TBR) TO BE REMOVED
- (F.V.) FIELD VERIFIED
- CWA CONCRETE WASHOUT AREA
- GRAVEL CONSTRUCTION ENTRANCE
- PROPOSED INLET PROTECTION

NOTE

UTILITY PIPE SIZES AND ALIGNMENTS ARE SUBJECT TO MODIFICATION DURING FINAL ENGINEERING DESIGN.

DURING FINAL ENGINEERING DESIGN, THE ELEVATION OF THE GOLF COURSE LAKE OVERFLOW ELEVATION SHALL BE CONFIRMED TO ENSURE VIABILITY OF THE WALKOUT ELEVATIONS LISTED.

SHOULD THE HOME OWNER'S ASSOCIATION NOT MAINTAIN THE STORMWATER MANAGEMENT SYSTEM, THE COUNTY HAS THE RIGHT TO ENTER THE PROPERTY FOR EMERGENCY MAINTENANCE OF SAID FACILITIES AND CHARGE THE HOME OWNER'S ASSOCIATION FOR SAID REPAIRS.

THE COUNTY SANITARY ENGINEER HAS NO INTENT TO MAINTAIN THE PRIVATE PUMP STATION AT THIS TIME.

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PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN FOR BROOKSIDE COTTAGES FOR GRADING & UTILITY PLAN

Revision	Date	Approved

PRELIMINARY NOT FOR CONSTRUCTION

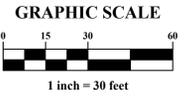
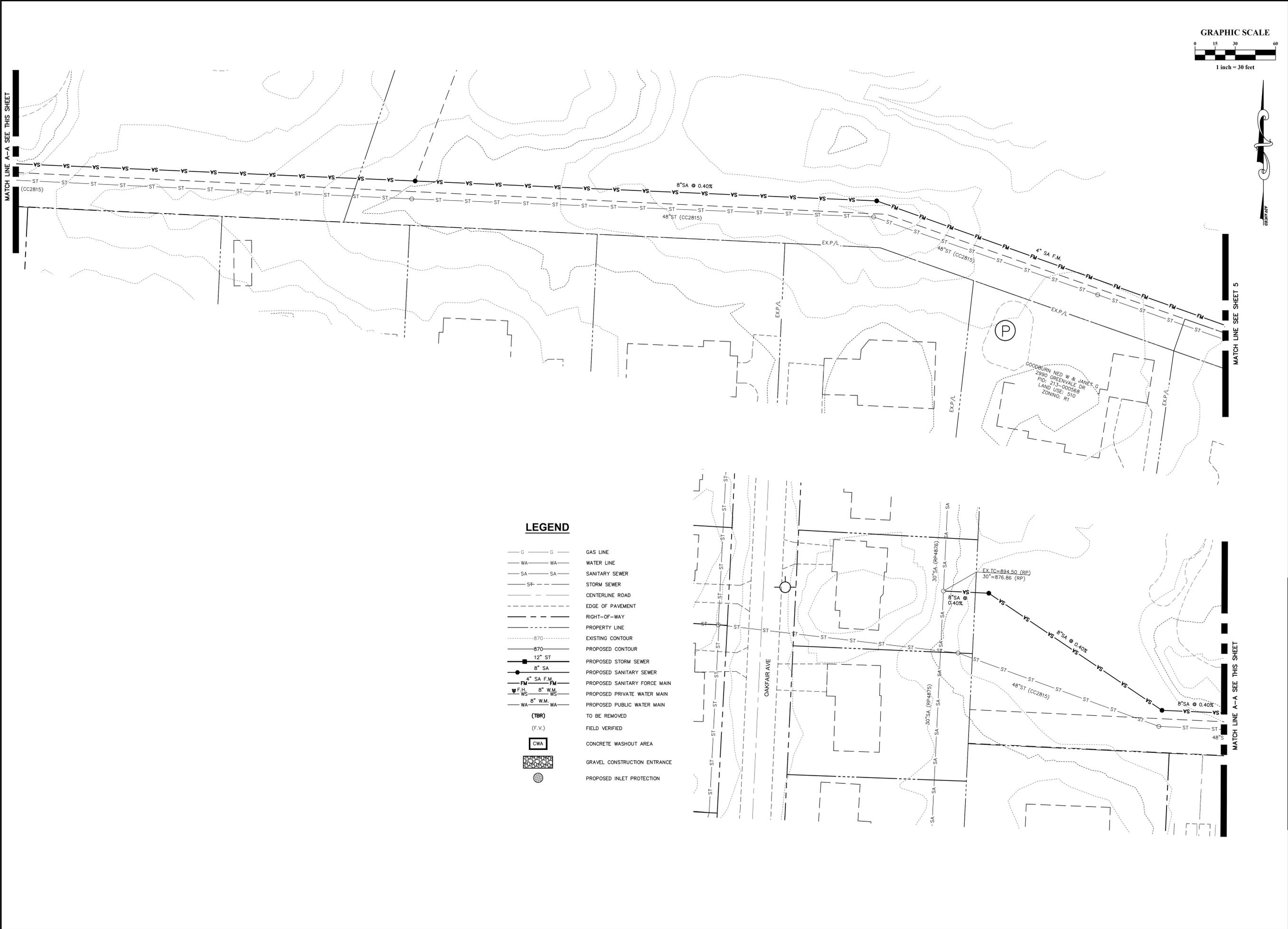
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Drawn By: CLE
 Checked By: DDD

Project Number:
 20-0011-642

Drawing Number:
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LEGEND

- | | |
|------------------|------------------------------|
| — G — G — | GAS LINE |
| — WA — WA — | WATER LINE |
| — SA — SA — | SANITARY SEWER |
| — ST — ST — | STORM SEWER |
| — | CENTERLINE ROAD |
| — | EDGE OF PAVEMENT |
| — | RIGHT-OF-WAY |
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| (TBR) | TO BE REMOVED |
| (F.V.) | FIELD VERIFIED |
| [CWA] | CONCRETE WASHOUT AREA |
| [Gravel] | GRAVEL CONSTRUCTION ENTRANCE |
| [Circle] | PROPOSED INLET PROTECTION |

PLAN PREPARED BY:

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

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PERRY TOWNSHIP, FRANKLIN COUNTY, OHIO
**FINAL DEVELOPMENT PLAN FOR
 BROOKSIDE COTTAGES**
 FOR
BOB WEBB GROUP
GRADING & UTILITY PLAN

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ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DIRECTION OF THE COUNTY ENGINEER AND/OR OHIO EPA.

EROSION AND SEDIMENT CONTROL NARRATIVE
 PLAN ENGINEERS: ADVANCED CIVIL DESIGN, INC. CONTRACTOR: BOB WEBB HOMES
 781 SCIENCE BOULEVARD, SUITE 100 PROJECT MANAGER BRANDON BELL
 GAHANNA, OH 43230 7662 NORTH CENTRAL DRIVE
 PHONE: (614) 428-7750 LEWIS CENTER, OHIO 43035
 FAX: (614) 428-7755 (614) 207-1574

SITE DESCRIPTION: THE PROJECT CONSISTS OF 5.6 ACRES OF WOODED PROPERTY. THIS PLAN IS FOR THE DESIGN AND CONSTRUCTION OF THE PROPOSED ROADWAY AND UTILITIES FOR THE 22 LOT SUBDIVISION ONLY. EACH INDIVIDUAL LOT WILL BE REQUIRED TO PROVIDE INDIVIDUAL LOT EROSION CONTROL MEASURES DURING CONSTRUCTION.

EXISTING SITE DRAINAGE CONDITION: CURRENT SITE DRAINAGE OCCURS VIA SHEET FLOW IN A WEST TO EAST PATTERN TO THE BROOKSIDE COUNTRY CLUB LAKE ALONG THE EAST SIDE OF THE SITE.

ADJACENT AREAS: THE SITE IS BORDERED TO THE NORTH BY GOLF COURSE PROPERTY, EAST BY BROOKSIDE COUNTRY CLUB LAKE, SOUTH BY SINGLE FAMILY RESIDENTIAL, WEST BY SINGLE FAMILY RESIDENTIAL.

SOILS: SOILS ON THE SITE ARE COMPOSED OF CELINA SILT LOAM AND CROSBY-URBAN LAND COMPLEX.

SITE DRAINS TO: THE BROOKSIDE COUNTRY CLUB LAKE IS PART OF THE OLENTANGY RIVER WATERSHED. THE LAKE RELEASES TO AN UNNAMED TRIBUTARY OF THE OLENTANGY RIVER.

CRITICAL AREAS: BROOKSIDE COUNTRY CLUB LAKE AND DUE CONSIDERATION OF ADJACENT LANDS SURROUNDING THE SITE INCLUDING ALL PROPERTIES AND PUBLIC ROADWAYS SHOULD BE EMPHASIZED.

EROSION & SEDIMENT CONTROL MEASURES: EROSION AND SEDIMENT RUNOFF SHALL BE CONTROLLED THROUGH COMBINATION OF SEDIMENT CONTROL MEASURES ALONG THE OUTER EDGE OF GRADING DISTURBANCES AND ESTABLISHING VEGETATION.

MAINTENANCE: MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED ON THIS SHEET.

CONSTRUCTION SEQUENCE (EROSION & SEDIMENT CONTROL): THE CONTRACTOR SHALL PLACE THE REQUIRED SEDIMENT CONTROL FEATURES, INCLUDING TEMPORARY SEDIMENT BASIN PRIOR TO ANY CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE PLAN DETAILS & NOTES.

1. THE CONTRACTOR SHALL PLACE PERMANENT SEEDING AND MULCHING AS NECESSARY TO ESTABLISH VEGETATION TO ALL AREAS NOTED ON THESE PLANS NOT TO BE DISTURBED.

2. THE CONTRACTOR SHALL PERFORM SITE EARTHWORK OPERATIONS IN ACCORDANCE WITH THE PLAN DETAILS & NOTES AND PLACE THE REQUIRED PERMANENT SEDIMENT CONTROL DEVICES IN ACCORDANCE WITH THE PLAN DETAILS & NOTES.

3. THE CONTRACTOR SHALL INSTALL STORM SEWER, SANITARY SEWER AND WATER MAIN. CONTRACTOR SHALL INSTALL INLET PROTECTION FOR EROSION CONTROL IMMEDIATELY AFTER CATCH BASIN INSTALLATION. CONTRACTOR SHALL ESTABLISH THE TEMPORARY SEDIMENT BASIN AND TEMPORARY SEDIMENT CONTROL OUTLET.

4. THE CONTRACTOR SHALL PLACE SEEDING AND MULCHING AS NECESSARY TO REESTABLISH ALL DENUDED AREAS.

5. THE CONTRACTOR SHALL PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL AT ALL TIMES DURING THE CONSTRUCTION OPERATIONS.

6. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE ESTABLISHED VEGETATIVE COVER AND/OR AS DIRECTED BY THE COUNTY ENGINEER'S OFFICE.

THE ONSITE CONTACT RESPONSIBLE FOR SEDIMENTATION AND EROSION CONTROL ON THIS SITE IS:

GENERAL EROSION AND SEDIMENT CONTROL NOTES

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE. ALL DENUDED AREAS SHALL BE CONSTRUCTED TO FINAL PROPOSED GRADE AS QUICKLY AS POSSIBLE AND SHOULD NOT BE LEFT DORMANT UNLESS SITE CONDITIONS DO NOT ALLOW FINAL GRADING TO BE COMPLETED. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHERE GRADING MAY NOT BE COMPLETE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

THE LIMITS OF SEEDING AND MULCHING WILL EXTEND OVER THE PROJECT AREA IN ACCORDANCE WITH THE LEVEL OF DISTURBANCE ASSOCIATED WITH THE ACTUAL CONSTRUCTION SEQUENCE. ALL AREAS NOT DESIGNATED TO BE SEEDING SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDING AND MULCHED AT THE CONTRACTOR'S EXPENSE.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

OTHER CONTROLS

WASTE DISPOSAL:

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL, CITY AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED OFF-SITE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&D LANDFILL AS REQUIRED BY ORC 3714.

HAZARDOUS WASTE:

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE:

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE (3) TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

OFF-SITE VEHICLE TRACKING:

OFF-SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.

DEWATERING ACTIVITIES:

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

PROCESS WASTEWATER:

ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

DUST CONTROL

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

- VEGETATIVE COVER AND MULCH - APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING - SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST, BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS' INSTRUCTIONS.
- STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS - EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

ROAD-SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS - ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCE USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FUEL STORAGE TANKS SHALL BE LOCATED AWAY FROM ANY SURFACE WATERS AND STORM SEWER SYSTEM INLETS. FUEL TANKS SHALL BE STORED IN A DIKED AREA CAPABLE OF HOLDING 150% OF THE TANK CAPACITY.

FERTILIZERS - FERTILIZERS USED WILL BE APPLIED IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALED PLASTIC BIN TO AVOID SPILLS.

PAINTS - ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS - CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, EXCEPT WITHIN DESIGNATED CONCRETE WASHOUT AREAS.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. SPILLS OF 25 OR MORE GALLONS OF PETROLEUM WASTE MUST BE REPORTED TO OHIO EPA (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE SPILL.
- SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED/DISPOSED AT AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY (TSDF).
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/ SHE DESIGNATE THE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

PERMANENT STABILIZATION

DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES.

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE OR MORE
ANY AREAS WITHIN 50 FEET OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

"PERMANENT SEEDING" SHALL BE DONE BETWEEN MARCH 16 AND OCTOBER 14. IF SEEDING IS DONE BETWEEN OCTOBER 15 AND MARCH 15, IT SHALL BE CLASSIFIED AS "TEMPORARY SEEDING." PERMANENT SEEDING SHALL CONSIST OF FERTILIZING, WATERING AND SEEDING RATES INDICATED UNDER ITEM 659.

RATES OF APPLICATION:

MARCH 16 TO OCTOBER 14		OCTOBER 15 TO MARCH 15	
SEED:	50% TALL FESCUE 20% CREEPING RED FESCUE 10% KENTUCKY BLUEGRASS 10% PERENNIAL RYE GRASS 10% ANNUAL RYE GRASS	150 LBS./ACRE	
FERTILIZER (12:12:12)		420 LBS./ACRE	
MULCH (STRAW OR HAY):		2 TONS/ACRE	

DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES:

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A STREAM AND NOT AT FINAL GRADE AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 21 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 21 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A STREAM	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS. DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S).
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

TEMPORARY SEEDING SHALL BE DONE AT THE FOLLOWING RATES:

MARCH 16 TO OCTOBER 14		OCTOBER 15 TO MARCH 15	
SEED:	50% TALL FESCUE 20% CREEPING RED FESCUE 10% KENTUCKY BLUEGRASS 10% PERENNIAL RYE GRASS 10% ANNUAL RYE GRASS	3.5 LBS./1000 SQ. FT.	1.3 LBS./1000 SQ. FT.
FERTILIZER (12:12:12)		15 LBS./1000 SQ. FT.	15 LBS./1000 SQ. FT.
MULCH (STRAW OR HAY)		2 TONS/ACRE	

INSPECTIONS

THE CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO CONDUCT SITE INSPECTIONS ENSURING PROPER FUNCTIONALITY OF THE EROSION AND SEDIMENTATION CONTROLS. ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED ONCE EVERY SEVEN DAYS OR WITHIN 24 HOURS OF A 1/2 INCH STORM EVENT OR GREATER. RECORDS OF THE SITE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED.

OEPA NOI # N/A

	NAME	PHONE NUMBER	EMAIL
BMP INSTALLATION	BRANDON BELL	(614) 207-1574	BRANDON.BELL@BOWEBB.COM
BMP MAINTENANCE	BRANDON BELL	(614) 207-1574	BRANDON.BELL@BOWEBB.COM
SITE STABILIZATION AND BMP REMOVAL	BRANDON BELL	(614) 207-1574	BRANDON.BELL@BOWEBB.COM

MAINTENANCE

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED PERIODICALLY, BUT NOT TO EXCEED 30 DAYS, OR WITHIN 24 HOURS OF A SIGNIFICANT RAINFALL. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY OWNER: B C COTTAGES LLC, 151 TREEDUCK CT, KIAWAH ISLAND, SOUTH CAROLINA 29455

DESIGN ENGINEER: ADVANCED CIVIL DESIGN, INC., 781 SCIENCE BOULEVARD, SUITE 100, GAHANNA, OH 43230, PH (614) 428-7750, FAX (614) 428-7755

CONTRACTOR RESPONSIBILITIES

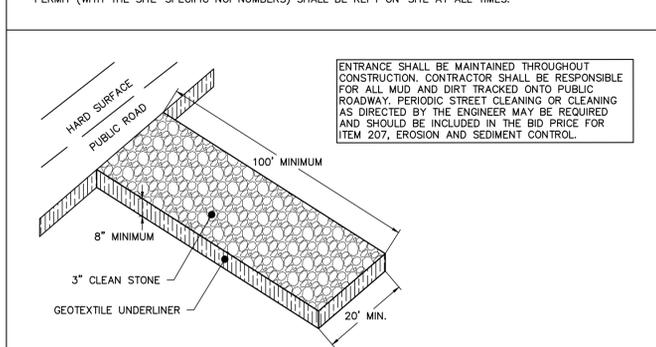
DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE OWNER. THE SCHEDULE SHOULD INCLUDE A SEQUENCE OF THE PLACEMENT OF THE SEDIMENTATION AND EROSION CONTROL MEASURES THAT PROVIDES FOR CONTINUAL PROTECTION OF THE SITE THROUGHOUT THE EARTH WORKING ACTIVITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE THE CURRENT STORM WATER POLLUTION PREVENTION PLAN IMMEDIATELY AVAILABLE OR POSTED ON-SITE.

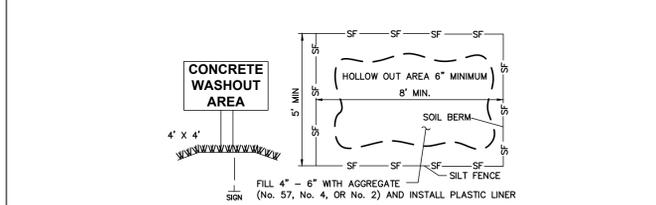
STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD FROM THE STREET GUTTERS.

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBERS) SHALL BE KEPT ON-SITE AT ALL TIMES.



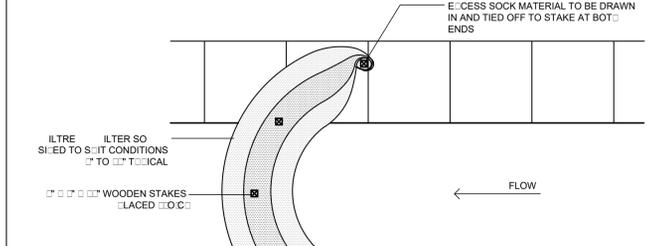
CONSTRUCTION ENTRANCE DETAIL

NO SCALE



CONCRETE WASHOUT AREA DETAIL

NO SCALE



TEMPORARY SEDIMENT BASIN SCHEDULE

NO SCALE

BASIN NO.	TRIBUTARY ACREAGE (DISTURBED)	REQUIRED SEDIMENT STORAGE VOLUME (134 CY/AC)	PROVIDED SEDIMENT STORAGE VOLUME
TEMP1	5.6 AC.	750	788 C.Y.

TEMPORARY RISER DETAIL

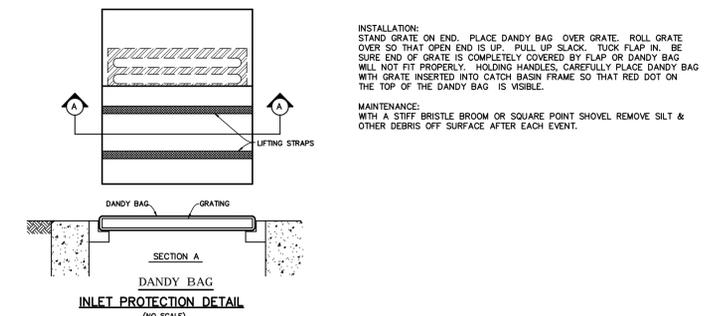
NO SCALE

NOTE: CORRUGATED POLYETHYLENE PIPE MAY BE USED IN LIEU OF CMP.

SKINNER SPECIFICATIONS (TEMP SEDIMENT BASIN)	TEMP1	TEMP2
(A) SKINNER DIA. SIZE (INCHES):	1.5"	
(B) SKINNER ORIFICE RAD. (INCHES):	0.7"	
(C) SKINNER ORIFICE DIA. (INCHES):	1.4"	
(D) SKINNER PIPE LENGTH (FEET):	6'	

COMPOSITE SOCK CHECK DAM DETAIL

NO SCALE



INLET PROTECTION DETAIL

NO SCALE

POST-CONSTRUCTION BMP, MAINTENANCE & INSPECTION

THE PROPERTY OWNER, ITS ADMINISTRATORS, EXECUTORS, SUCCESSORS, HEIRS OR ASSIGNS SHALL MAINTAIN THE STORMWATER CONTROL FACILITIES IN GOOD WORKING CONDITION ACCEPTABLE TO THE COUNTY AND IN ACCORDANCE WITH THE SCHEDULED LOW MAINTENANCE ACTIVITIES PROVIDED IN THE APPROVED STORMWATER CONTROL FACILITY MAINTENANCE PLAN FOR THE STORMWATER CONTROL FACILITIES. MAINTAINED INFRASTRUCTURE SHALL INCLUDE ALL PIPES AND CHANNELS BUILT TO CONVEY STORMWATER TO THE FACILITY, AS WELL AS ALL STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY AND QUALITY OF THE STORMWATER FROM THE FACILITY. "MAINTAIN" IS HEREIN DEFINED AS GOOD WORKING CONDITION SO THAT THESE FACILITIES ARE PERFORMING THEIR DESIGN FUNCTIONS. RESPONSIBILITY AND ASSURANCE OF MAINTENANCE AND THE CONTINUOUS FUNCTIONALITY OF THIS STORMWATER FACILITY IS PERPETUAL; BEGINNING WITH THE OWNER AT THE TIME OF INSTALLATION AND CONTINUING TO ALL FUTURE OWNERS.

THIS PLAN MUST BE POSTED ON-SITE.

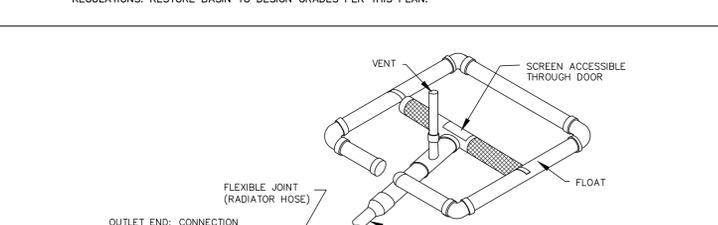
RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF THIS DETENTION SYSTEM SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CURRENT OWNER OR CONTRACTOR SHALL REPAIR OR REPLACE SUCH ITEMS IN AN EXPEDITIOUS MANNER TO REDUCE THE POSSIBILITY OF INAPPROPRIATE DISCHARGE.

DETENTION MAINTENANCE:

REGULAR MAINTENANCE IS REQUIRED TO ENSURE PROPER OPERATION OF THE EXTENDED DETENTION SWALE. A MINIMUM INSPECTION FREQUENCY SHALL BE AT LEAST TWICE PER YEAR TO CONFIRM THAT THE DRAINAGE SYSTEMS IS FUNCTIONING PROPERLY. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CURRENT OWNER OR CONTRACTOR SHALL REPAIR OR REPLACE SUCH ITEMS IN AN EXPEDITIOUS MANNER TO REDUCE THE POSSIBILITY OF INAPPROPRIATE DISCHARGE.

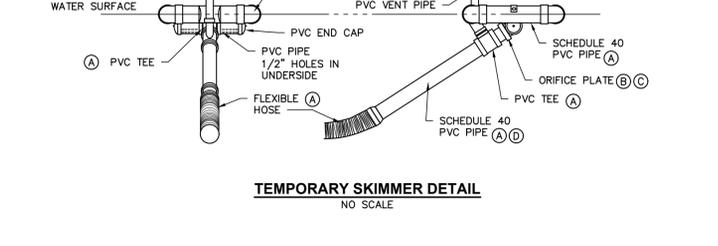
THE FOLLOWING SHALL BE INCLUDED IN A ROUTINE MAINTENANCE SCHEDULE TO BE PERFORMED BI-ANNUALLY:

- INSPECT STORMWATER STRUCTURES INCLUDING CATCH BASINS, STORM PIPES, AND OUTLET CONTROL STRUCTURES. REMOVE CLOGS OR DEBRIS IF NOTED. REMOVE ACCUMULATED SEDIMENT AND STABILIZE ONSITE. REPAIR STRUCTURES TO MAINTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS.
- CHECK INLET/OUTLET AREAS FOR EROSION AND STABILIZE IF REQUIRED.
- OUTLET STRUCTURE SHOULD BE INSPECTED FOR EVIDENCE OF CLOGGING OR RELEASE VELOCITIES THAT APPEAR TO BE CAUSING EROSION.
- ACCUMULATED TRASH AND DEBRIS SHOULD BE REMOVED FROM EMBANKMENTS, SIDE SLOPES, AND OUTLET AREA.
- SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES 6" ABOVE THE DESIGN BOTTOM. REMOVAL FREQUENCY TYPICALLY VARIES FROM 5 TO 25 YEARS OR MORE. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHALL BE INSTALLED IN THE DETENTION FACILITY. THE DEPTH MARKER SHALL HAVE A MARK SHOWING THE DEPTH WHERE SEDIMENT REMOVAL IS REQUIRED. SEDIMENT LEVEL SHOULD BE CHECKED ON AN ANNUAL BASIS. DISPOSE OF COLLECTED SEDIMENT AND POLLUTANTS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. RESTORE BASIN TO DESIGN GRADES PER THIS PLAN.



TEMPORARY SKINNER DETAIL

NO SCALE



TEMPORARY RISER DETAIL

NO SCALE

NOTE: CORRUGATED POLYETHYLENE PIPE MAY BE USED IN LIEU OF CMP.

SKINNER SPECIFICATIONS (TEMP SEDIMENT BASIN)	TEMP1	TEMP2
(A) SKINNER DIA. SIZE (INCHES):	1.5"	
(B) SK		